

# CIVIL CONSTRUCTION PLANS

## FOR

# HALL PARK D1

## PHASE D1, BLOCK A, LOT 1

## 3010 GAYLORD PARKWAY

## 3.380 ± ACRE TRACT

## FRISCO, COLLIN COUNTY, TEXAS

## CITY PROJECT NO. CS21-XXXX

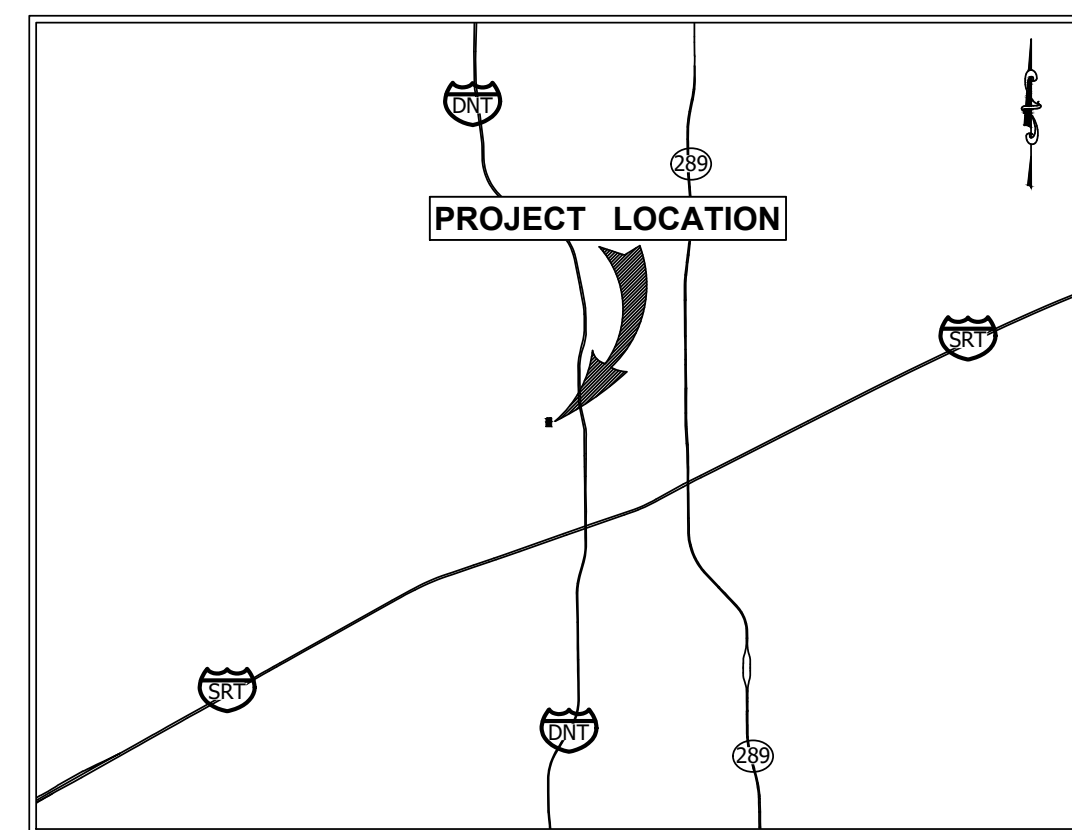
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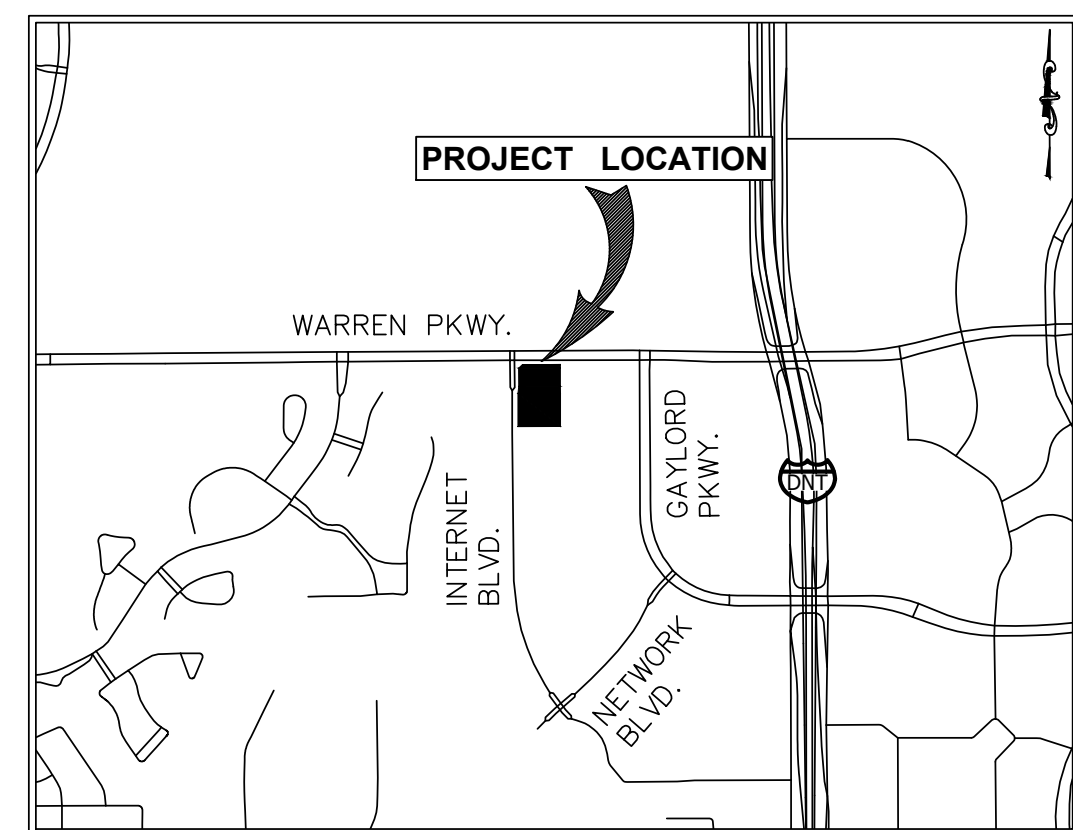
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**HKS ARCHITECTS**  
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**SURVEYOR**  
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 SPASSLER@OJB.COM



VICINITY MAP  
(NOT TO SCALE)



LOCATION MAP  
(NOT TO SCALE)

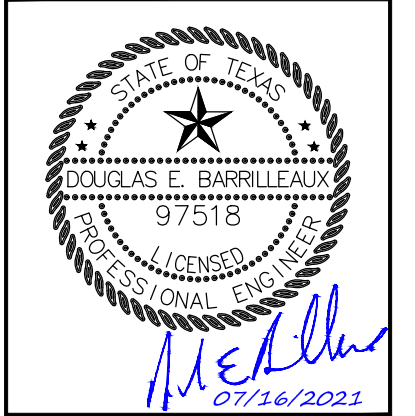
Sheet List Table

C00.0	COVER SHEET
C00.5	REPLAT HALL PARK, PHASE D (1 OF 2)
C00.51	REPLAT HALL PARK, PHASE D (2 OF 2)
C03.0	FRISCO GENERAL CONSTRUCTION NOTES
C04.0	INF. OVERALL DEMOLITION PLAN (FOR REFERENCE ONLY)
C04.1	INF. DEMOLITION PLAN 1 (FOR REFERENCE ONLY)
C04.2	INF. DEMOLITION PLAN 2 (FOR REFERENCE ONLY)
C04.3	INF. DEMOLITION PLAN 3 (FOR REFERENCE ONLY)
C05.0	OVERALL PAVING PLAN
C05.1	PAVING PLAN 1
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C05.3	CITY OF FRISCO PAVING DETAILS
C05.4	TxDOT PAVING DETAILS
C06.0	OVERALL GRADING PLAN
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C07.0	EXISTING DRAINAGE AREA MAP
C08.0	DRAINAGE AREA MAP
C08.1	DRAINAGE AREA MAP 1
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C09.1	STORM PLAN 1
C09.2	STORM PLAN 2
C09.3	STORM LATERALS A2, A3-A4.1
C09.4	STORM LATERALS C3, C3.1, & C6
C10.0	OVERALL WATER & SANITARY SEWER PLAN
C10.1	WATER & SANITARY SEWER PLAN 1
C10.2	WATER & SANITARY SEWER PLAN 2
C10.3	SANITARY SEWER LATS. 3A-3A.1, 4A, 4C-4C.1
C10.4	CITY OF FRISCO WATER DETAILS
C10.5	WUNDER COVER DETAILS
C11.0	EROSION CONTROL PLAN
C11.1	EROSION CONTROL DETAILS
C12.0	FRANCHISE UTILITY PLAN

UTILITY RESPONSIBILITY MATRIX

UTILITY/GOVERNING AGENCIES CONTACT	CONTRACTORS RESPONSIBILITIES	OTHER RESPONSIBILITIES
<b>GAS</b> COSERV GAS CONTACT: STEVE JOHNSON (940) 270-6863 STJOHNSON@COSERV.COM  NATURAL GAS EMERGENCY: (844) 330-0763	- CONTRACTOR IS RESPONSIBLE FOR CONTACTING COSERV PRIOR TO CONSTRUCTION IN ORDER TO COORDINATE AND SCHEDULE ALL CONSTRUCTION ACTIVITIES.	
<b>ELECTRIC</b> COSERV ELECTRIC CONTACT: STEVE JOHNSON (940) 270-6863 STJOHNSON@COSERV.COM	-COORDINATE CONSTRUCTION ACTIVITIES WITH COSERV TO ENSURE UNDERGROUND CONDUITS ARE PLACED PRIOR TO PAVEMENT PLACEMENT. -CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND HAVING INSPECTED ALL UNDERGROUND CONDUITS.	
<b>ELECTRIC</b> ONCOR ELECTRIC CONTACT: MICHAEL ALFORD (972) 569-1295 MICHAEL.ALFORD@ONCOR.COM	-COORDINATE CONSTRUCTION ACTIVITIES WITH ONCOR TO ENSURE UNDERGROUND CONDUITS ARE PLACED PRIOR TO PAVEMENT PLACEMENT. -CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND HAVING INSPECTED ALL UNDERGROUND CONDUITS.	
<b>TELEPHONE</b> SPECTRUM CONTACT: PATRICK SAULS (214) 302-7576 PATRICK.SAULS@CHARTER.COM	-COORDINATE WITH THE SERVICE PROVIDER TO ENSURE INSTALLATION OF OVERHEAD/UNDERGROUND LINES.	-WILL PROVIDE AND INSTALL ALL TELEPHONE CABLES FROM THE POINT OF CONNECTION UP TO THE BUILDING.
<b>TELEPHONE</b> GRANDE COMMUNICATIONS CONTACT: CHRIS LANGSTON (214) 618-6198 CHRIS.LANGSTON@MYGRANDE.COM	-COORDINATE WITH THE SERVICE PROVIDER TO ENSURE INSTALLATION OF OVERHEAD/UNDERGROUND LINES.	
<b>TELEPHONE</b> AT&T CONTACT: MICHAEL KEETON (469) 931-3850 MK2871@ATT.COM	-COORDINATE WITH THE SERVICE PROVIDER TO ENSURE INSTALLATION OF OVERHEAD/UNDERGROUND LINES.	
<b>SEWER/ WATER</b> CITY OF FRISCO - PUBLIC WORKS DEPARTMENT 11300 RESEARCH ROAD FRISCO, TX 75033 CONTACT: STEVE LUM (972) 292-6891	-PROVIDE AND INSTALL ALL WATER & WASTEWATER LINES & APPURTENANCES PER THE PLANS AND SPECIFICATIONS OF THE CITY OF FRISCO. -COORDINATE WITH THE CITY OF FRISCO INSPECTION SERVICES. -ALL PORTIONS OF THE FIRE LINE WATER SYSTEM SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR	
<b>ENGINEERING</b> CITY OF FRISCO - ENGINEERING SERVICES 6101 FRISCO SQUARE BLVD, 3RD FLOOR FRISCO, TX 75034 CONTACT: WILL JANNEY (972) 292-5443 CONTACT: J. RICARDO ORDONEZ (972) 292-5451		

JULY 16, 2021

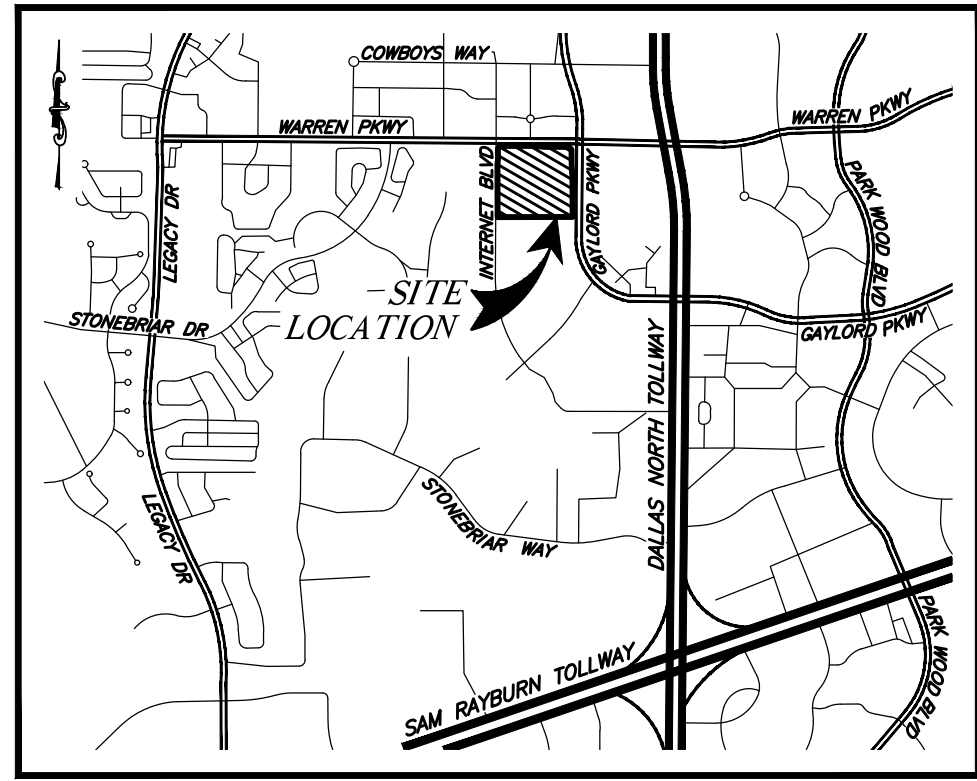


HALL PARK D1  
 3200 INTERNET BOULEVARD  
 FRISCO, COLLIN COUNTY, TEXAS  
 CD PROGRESS PACKAGE

CLIENT: HALL GROUP	DRAWN BY: DTE	DESIGNER: BTD	REVIEWER: DEB	U.S. PROJECT: 18566
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SHEET  
**C00.0**

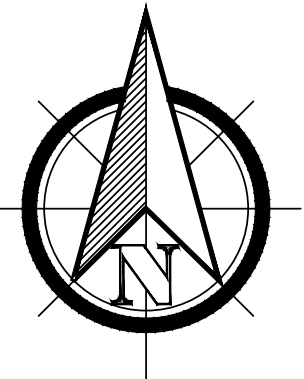
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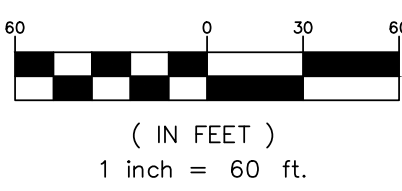
VICINITY MAP  
(NOT TO SCALE)

LEGEND

- A.B.P. = ABANDONED BY THIS PLAT
- P.O.B. = POINT OF BEGINNING
- (C.M.) = CONTROLLING MONUMENT
- ( ) = RECORD CALL
- PG. = PAGE
- NO. = NUMBER
- VOL. = VOLUME
- ESMT. = EASEMENT
- IRF = IRON ROD FOUND
- IRFYC = IRON ROD FOUND W/ YELLOW CAP
- IRSC = IRON ROD SET W/ CAP
- DOC. NO. = DOCUMENT NUMBER
- D.R.C.C.T. = DEED RECORDS, COLLIN COUNTY, TEXAS
- P.R.C.C.T. = PLAT RECORDS, COLLIN COUNTY, TEXAS
- O.P.R.C.C.T. = OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- = STREET CENTERLINE

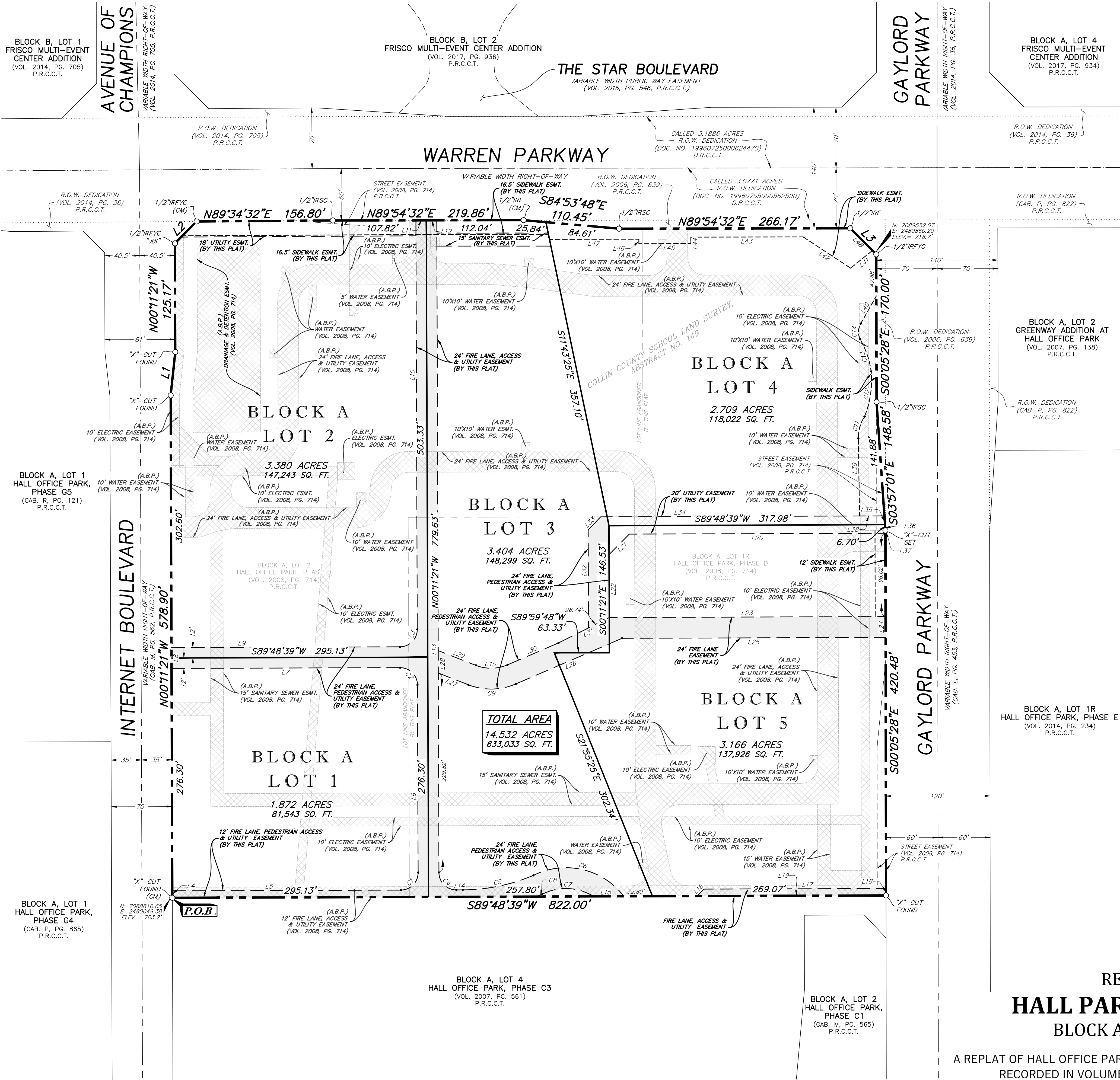


GRAPHIC SCALE



GENERAL NOTES

1. FLOOD STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), MAP NO. 480850355K, DATED 06/07/2017 FOR THE CITY OF FRISCO, COLLIN COUNTY, TEXAS. THIS PROPERTY IS LOCATED IN NON-SHADED "ZONE X", DETERMINED BY SCALING AND GRAPHICAL PLOTTING.
2. THE PURPOSE OF THIS REPLAT IS TO SUBDIVIDE TWO (2) EXISTING LOTS OF RECORD INTO FIVE (5) LOTS OF RECORD AND TO DEDICATE AND ABANDON EASEMENTS.
3. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, AND SUBJECT TO FINES AND/OR WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
4. BASIS OF BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM OF 1983 (NAD83, 2011) TXNC-4202, AS DERIVED BY GNSS FROM THE TRIMBLE RTK NETWORK.
5. ALL CORNERS ARE SET WITH A 1/2-INCH IRON ROD WITH ORANGE PLASTIC CAP STAMPED "U.S. PLUS SURVEY", UNLESS NOTED OTHERWISE.



Line Table		
Line #	Direction	Length
L1	N06° 05' 17"E	50.30'
L2	N44° 41' 35"E	35.43'
L3	S45° 05' 28"E	42.43'
L4	N00° 11' 21"W	8.00'
L5	N89° 48' 39"E	263.18'
L6	N00° 11' 21"W	216.17'
L7	S89° 48' 39"W	263.18'
L8	N00° 11' 21"W	24.00'
L9	N89° 48' 39"E	263.13'
L10	N00° 11' 21"W	471.35'
L11	N89° 54' 32"E	12.00'
L12	N89° 54' 32"E	12.06'
L13	S00° 11' 21"E	751.49'
L14	N89° 48' 39"E	7.29'
L15	S89° 48' 39"W	34.98'
L16	N44° 30' 24"E	11.25'
L17	N89° 48' 39"E	209.56'
L18	S00° 05' 28"E	8.00'
L19	S89° 48' 39"W	217.46'
L20	S89° 48' 39"W	294.92'
L21	S44° 48' 39"W	33.23'
L22	S00° 11' 21"E	72.52'
L23	N89° 48' 39"E	318.25'
L24	S00° 05' 28"E	24.00'

Line Table		
Line #	Direction	Length
L25	S89° 48' 39"W	303.46'
L26	S66° 44' 56"W	133.36'
L27	N68° 38' 35"W	37.11'
L28	N00° 11' 21"W	25.80'
L29	S68° 38' 35"E	46.59'
L30	N66° 44' 56"E	63.96'
L31	N63° 21' 44"E	65.35'
L32	N00° 11' 21"W	112.93'
L33	N43° 43' 34"E	20.82'
L34	N89° 48' 39"E	326.81'
L35	S03° 57' 01"E	10.15'
L36	S03° 57' 31"E	6.70'
L37	S00° 05' 28"E	3.18'
L38	S89° 48' 39"W	28.66'
L39	N00° 51' 43"W	89.55'
L40	N29° 23' 07"E	36.78'
L41	S51° 00' 18"W	32.36'
L42	N56° 39' 54"W	65.49'
L43	S89° 54' 23"W	129.33'
L44	S00° 05' 37"E	7.53'
L45	S89° 54' 23"W	59.81'
L46	N00° 05' 37"W	5.24'
L47	S89° 54' 16"W	102.98'
L48	S45° 05' 28"E	36.20'

Curve Table					
Curve #	Delta	Radius	Length	Chord Bearing	Chord Distance
C1	90° 21' 56"	20.00'	31.54'	N44° 37' 46"E	28.37'
C2	90° 00' 00"	20.00'	31.42'	N45° 11' 21"W	28.28'
C3	90° 00' 00"	20.00'	31.42'	N44° 48' 39"E	28.28'
C4	90° 21' 56"	20.00'	31.54'	S45° 00' 27"E	28.37'
C5	22° 49' 08"	210.00'	83.64'	N78° 24' 06"E	83.08'
C6	79° 09' 53"	84.00'	116.06'	S76° 59' 38"E	107.05'
C7	59° 08' 55"	60.00'	61.94'	N87° 38' 13"W	59.23'
C8	1° 42' 42"	234.00'	6.99'	S67° 38' 40"W	6.99'
C9	44° 36' 29"	72.00'	56.06'	S89° 03' 10"W	54.65'
C10	44° 36' 29"	48.00'	37.37'	N89° 03' 10"E	36.43'
C11	33° 53' 09"	44.56'	26.35'	N15° 47' 28"E	25.97'
C12	27° 26' 40"	110.90'	53.12'	N08° 23' 10"E	52.61'
C13	22° 40' 38"	99.54'	39.40'	N18° 58' 50"W	39.14'
C14	55° 05' 48"	19.46'	18.71'	N02° 10' 15"E	18.00'

REPLAT  
HALL PARK, PHASE D  
BLOCK A, LOTS 1 - 5

A REPLAT OF HALL OFFICE PARK, PHASE D, BLOCK A, LOTS 1R & 2, RECORDED IN VOLUME 2008, PAGE 714, P.R.C.C.T.

14.532 ACRES SITUATED IN THE  
COLLIN COUNTY SCHOOL LAND SURVEY, ABSTRACT NO. 149,  
CITY OF FRISCO, COLLIN COUNTY, TEXAS

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

FILE NAME: S:\HALL PARK\REPLAT\01\_BLOCK.DWG  
LAST MODIFIED BY: JEFFERY MONTANYA  
PLOT DATE: 05/24/2021 10:53 AM



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www.urbanstruct.com

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OWNER  
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2323 ROSS AVENUE, SUITE: 200  
DALLAS, TEXAS 75201  
PHONE: (214) 269-9500

**OWNER'S CERTIFICATE**

STATE OF TEXAS        §  
 COUNTY OF COLLIN    §

WHEREAS, **HALL 3101 GAYLORD II, LLC** AND **HALL 3200 INTERNET, LLC**, ARE THE OWNERS OF A 14.532 ACRE TRACT OF LAND SITUATED IN THE COLLIN COUNTY SCHOOL LAND SURVEY, ABSTRACT NUMBER 149, CITY OF FRISCO, COLLIN COUNTY, TEXAS; BEING ALL OF LOTS 1R & 2, BLOCK A OF HALL OFFICE PARK, PHASE D, AN ADDITION TO THE CITY OF FRISCO, TEXAS, RECORDED IN VOLUME 2008, PAGE 714, PLAT RECORDS OF COLLIN COUNTY, TEXAS (P.R.C.C.T.), AS CONVEYED (LOT 1R) BY SPECIAL WARRANTY DEED TO HALL 3101 GAYLORD II, LTD, RECORDED IN DOCUMENT NUMBER 20061018001497320, OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS (O.P.R.C.C.T.) AND CONVERTED TO HALL 3101 GAYLORD II, LLC BY CERTIFICATE OF CONVERSION RECORDED IN DOCUMENT NUMBER 20200717001118430 (O.P.R.C.C.T.), AND CONVEYED (LOT 2) BY SPECIAL WARRANTY DEED TO HALL 3200 INTERNET, LTD, RECORDED IN DOCUMENT NUMBER 20051013001449440 (O.P.R.C.C.T.) AND CONVERTED TO HALL 3200 INTERNET, LLC BY CERTIFICATE OF CONVERSION RECORDED IN DOCUMENT NUMBER 20200717001118440 (O.P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT AN "X" CUT IN CONCRETE FOUND FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, IN THE EAST RIGHT-OF-WAY LINE OF INTERNET BOULEVARD (VARIABLE WIDTH RIGHT-OF-WAY), AND THE COMMON WEST CORNER OF SAID LOT 2, BLOCK A OF HALL OFFICE PARK, PHASE D, AND LOT 4, BLOCK A OF HALL OFFICE PARK, PHASE C3, AN ADDITION TO THE CITY OF FRISCO, TEXAS, RECORDED IN VOLUME 2007, PAGE 561 (P.R.C.C.T.);

THENCE ALONG THE EAST RIGHT-OF-WAY LINE OF SAID INTERNET BOULEVARD THE FOLLOWING COURSES:

NORTH 00 DEGREES 11 MINUTES 21 SECONDS WEST – 578.90 FEET TO AN "X" CUT IN CONCRETE FOUND FOR A POINT FOR CORNER OF THE HEREIN DESCRIBED TRACT;

NORTH 06 DEGREES 05 MINUTES 17 SECONDS EAST – 50.30 FEET TO AN "X" CUT IN CONCRETE FOUND FOR A POINT FOR CORNER OF THE HEREIN DESCRIBED TRACT;

NORTH 00 DEGREES 11 MINUTES 21 SECONDS WEST – 125.17 FEET TO A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JBI" FOUND FOR THE SOUTHWEST CORNER OF A CORNER CLIP AT THE SOUTHEAST INTERSECTION CORNER OF WARREN PARKWAY (VARIABLE WIDTH RIGHT-OF-WAY) AND SAID INTERNET BOULEVARD;

THENCE NORTH 44 DEGREES 41 MINUTES 35 SECONDS – 35.43 FEET ALONG SAID CORNER CLIP TO A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP FOUND FOR THE NORTHEAST CORNER OF SAID CORNER CLIP AT THE SOUTHEAST INTERSECTION CORNER OF SAID WARREN PARKWAY AND INTERNET BOULEVARD;

THENCE ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID WARREN PARKWAY THE FOLLOWING COURSES:

NORTH 89 DEGREES 34 MINUTES 32 SECONDS EAST – 156.80 FEET TO A 1/2-INCH IRON ROD WITH ORANGE PLASTIC CAP STAMPED "U.S. PLUS SURVEY" SET FOR A POINT FOR CORNER OF THE HEREIN DESCRIBED TRACT;

NORTH 89 DEGREES 54 MINUTES 32 SECONDS EAST – 219.86 FEET TO A 1/2-INCH IRON ROD FOUND FOR A POINT FOR CORNER OF THE HEREIN DESCRIBED TRACT;

SOUTH 84 DEGREES 53 MINUTES 48 SECONDS EAST – 110.45 FEET TO A 1/2-INCH IRON ROD WITH ORANGE PLASTIC CAP STAMPED "U.S. PLUS SURVEY" FOR A POINT FOR CORNER OF THE HEREIN DESCRIBED TRACT;

NORTH 89 DEGREES 54 MINUTES 32 SECONDS EAST – 266.17 FEET TO A 1/2-INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF A CORNER CLIP AT THE SOUTHWEST INTERSECTION CORNER OF GAYLORD PARKWAY (VARIABLE WIDTH RIGHT-OF-WAY) AND SAID WARREN PARKWAY;

THENCE SOUTH 45 DEGREES 05 MINUTES 28 SECONDS EAST – 42.43 FEET ALONG SAID CORNER CLIP TO A 1/2-INCH IRON ROD WITH YELLOW CAP FOUND FOR THE SOUTHEAST CORNER OF SAID CORNER CLIP AT THE SOUTHWEST INTERSECTION OF SAID WARREN PARKWAY AND GAYLORD PARKWAY;

THENCE ALONG THE WEST RIGHT-OF-WAY OF SAID GAYLORD PARKWAY THE FOLLOWING COURSES:

SOUTH 00 DEGREES 05 MINUTES 28 SECONDS EAST – 170.00 FEET TO A 1/2-INCH RON ROD WITH ORANGE PLASTIC CAP STAMPED "U.S. PLUS SURVEY" SET FOR A POINT FOR CORNER OF THE HEREIN DESCRIBED TRACT;

SOUTH 03 DEGREES 57 MINUTES 01 SECOND EAST – 148.58 FEET TO AN "X" CUT IN CONCRETE SET FOR A POINT FOR CORNER OF THE HEREIN DESCRIBED TRACT;

SOUTH 00 DEGREES 05 MINUTES 28 SECONDS – 420.48 FEET TO AN "X" CUT IN CONCRETE FOUND FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, COMMON TO THE COMMON EAST CORNER OF SAID LOT 1R, BLOCK A OF HALL OFFICE PARK, PHASE D AND LOT 4, BLOCK A OF HALL OFFICE PARK, PHASE C3;

THENCE SOUTH 89 DEGREES 48 MINUTES 39 SECONDS WEST – 822.00 FEET DEPARTING THE SAID WEST RIGHT-OF-WAY LINE OF GAYLORD PARKWAY, ALONG THE COMMON LOT LINE OF SAID HALL OFFICE PARK, PHASE C3 & D TO THE **POINT OF BEGINNING** AND CONTAINING 14.532 ACRES OR 633,033 SQUARE FEET OF LAND, MORE OR LESS.

**NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

THAT, **HALL 3101 GAYLORD II, LLC** AND **HALL 3200 INTERNET, LLC**, ACTING HEREIN BY AND THROUGH THEIR DULY AUTHORIZED OFFICERS, DO HEREBY CERTIFY AND ADOPT THIS PLAT, DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS **HALL PARK, PHASE D, BLOCK A, LOTS 1-5**, AN ADDITION TO THE CITY OF FRISCO, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON.

**HALL 3101 GAYLORD II, LLC** AND **HALL 3200 INTERNET, LLC** DO HEREIN CERTIFY THE FOLLOWING:

1. THE STREETS AND ALLEYS HEREIN ARE DEDICATED IN FEE SIMPLE FOR STREET AND ALLEY PURPOSES.
2. ALL PUBLIC IMPROVEMENTS AND DEDICATIONS SHALL BE FREE AND CLEAR OF ALL DEBT, LIENS, AND/OR ENCUMBRANCES.
3. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN AND CREATED BY THIS PLAT, ARE DEDICATED FOR THE PUBLIC USE FOREVER FOR THE PURPOSES INDICATED ON THIS PLAT.
4. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS IF APPROVED BY THE CITY OF FRISCO.
5. THE CITY OF FRISCO IS NOT RESPONSIBLE FOR REPLACING ANY IMPROVEMENTS IN, UNDER, OR OVER ANY EASEMENTS CAUSED BY MAINTENANCE OR REPAIR.
6. UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF FRISCO'S USE THEREOF.
7. THE CITY OF FRISCO AND PUBLIC UTILITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN THE EASEMENTS.
8. THE CITY OF FRISCO AND PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.
9. ALL MODIFICATIONS TO THE DOCUMENT SHALL BE BY MEANS OF PLAT AND APPROVED BY THE CITY OF FRISCO.

THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF FRISCO, TEXAS.

WITNESS MY HAND, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

**OWNER: HALL 3101 GAYLORD II, LLC**  
 A TEXAS LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_  
 DONALD L. BRAUN  
 PRESIDENT

STATE OF TEXAS        §  
 COUNTY OF \_\_\_\_\_ §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED **DONALD L. BRAUN**, AS PRESIDENT OF HALL 3101 GAYLORD II, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
 NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

WITNESS MY HAND, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

**OWNER: HALL 3200 INTERNET, LLC**  
 A TEXAS LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_  
 DONALD L. BRAUN  
 PRESIDENT

STATE OF TEXAS        §  
 COUNTY OF \_\_\_\_\_ §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED **DONALD L. BRAUN**, AS PRESIDENT OF HALL 3200 INTERNET, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
 NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

**ACCESS EASEMENT**

THE UNDERSIGNED COVENANTS AND AGREES THAT THE ACCESS EASEMENT(S) MAY BE UTILIZED BY ANY PERSON OR THE GENERAL PUBLIC FOR INGRESS AND EGRESS TO OTHER REAL PROPERTY, AND FOR THE PURPOSES OF GENERAL PUBLIC VEHICULAR AND PEDESTRIAN USE AND ACCESS, AND FOR THE FIRE DEPARTMENT, POLICE AND EMERGENCY USE IN, ALONG, UPON AND ACROSS SAID PREMISES, WITH THE RIGHT AND PRIVILEGE AT ALL TIMES OF THE CITY OF FRISCO, ITS AGENTS, EMPLOYEES, WORKMEN AND REPRESENTATIVES HAVING INGRESS, EGRESS, AND REGRESS IN, ALONG, UPON AND ACROSS SAID PREMISES.

**PUBLIC WAY EASEMENT**

THE UNDERSIGNED COVENANTS AND AGREES THAT THE PUBLIC WAY EASEMENT MAY BE UTILIZED BY ANY PERSON OR THE GENERAL PUBLIC FOR INGRESS AND EGRESS TO OTHER REAL PROPERTY, AND FOR THE PURPOSE OF GENERAL PUBLIC VEHICULAR AND PEDESTRIAN USE AND ACCESS, AND FOR THE FIRE DEPARTMENT, POLICE AND EMERGENCY USE IN, ALONG, UPON AND ACROSS SAID PREMISES, WITH THE RIGHT AND PRIVILEGE AT ALL TIMES OF THE CITY OF FRISCO, ITS AGENTS, EMPLOYEES, WORKMEN AND REPRESENTATIVES HAVING INGRESS, EGRESS, AND REGRESS IN, ALONG, UPON AND ACROSS SAID PREMISES. THE UNDERSIGNED COVENANTS AND AGREES THAT THE PUBLIC WAY EASEMENT MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME, WITH SAID USE BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF FRISCO'S USE THEREOF. THE UNDERSIGNED COVENANTS AND AGREES THAT HE (THEY) SHALL CONSTRUCT WITHIN THE PUBLIC WAY EASEMENT AN ACCESS ROAD THAT MEETS OR EXCEEDS THE REQUIREMENTS OF A FIRE APPARATUS ACCESS ROAD IN ACCORDANCE WITH THE FIRE CODE AND CITY STANDARDS AND THAT HE (THEY) SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES IN ACCORDANCE WITH CITY ORDINANCE. THE ACCESS ROAD WITHIN THE PUBLIC WAY EASEMENT SHALL BE KEPT FREE OF OBSTRUCTIONS IN ACCORDANCE WITH CITY ORDINANCE. THE CHIEF OF POLICE OR HIS/HER DULY AUTHORIZED REPRESENTATIVE IS HEREBY AUTHORIZED TO CAUSE SUCH ACCESS ROAD WITHIN THE PUBLIC WAY EASEMENT TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY USE. THE UNDERSIGNED COVENANTS AND AGREES THAT HE (THEY) SHALL CONSTRUCT WITHIN THE PUBLIC WAY EASEMENT A SIDEWALK ALONG THE ACCESS ROAD IN ACCORDANCE WITH CITY STANDARDS AND SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES. THE MAINTENANCE OF THE ACCESS ROAD (AND ITS APPURTENANCES), SIDEWALKS, LANDSCAPING AND TRAFFIC SIGNS WITHIN THE PUBLIC WAY EASEMENT IS THE RESPONSIBILITY OF THE OWNER.

**CERTIFICATE OF SURVEYOR**

**KNOW ALL MEN BY THESE PRESENTS:**

THAT I, **JEFF MONTANYA**, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT AND THE FIELD NOTES MADE A PART THEREOF FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF FRISCO, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
 JEFF MONTANYA  
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6762

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.**

STATE OF TEXAS        §  
 COUNTY OF DALLAS   §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED **JEFF MONTANYA**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
 NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

**CERTIFICATE OF APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021  
 BY THE PLANNING & ZONING COMMISSION OF THE CITY OF FRISCO, TEXAS.

\_\_\_\_\_  
 PLANNING & ZONING COMMISSION CHAIR

\_\_\_\_\_  
 PLANNING & ZONING COMMISSION SECRETARY

\_\_\_\_\_  
 CITY SECRETARY

**REPLAT  
 HALL PARK, PHASE D  
 BLOCK A, LOTS 1 - 5**

A REPLAT OF HALL OFFICE PARK, PHASE D, BLOCK A, LOTS 1R & 2,  
 RECORDED IN VOLUME 2008, PAGE 714, P.R.C.C.T.

14.532 ACRES SITUATED IN THE  
 COLLIN COUNTY SCHOOL LAND SURVEY, ABSTRACT NO. 149,  
 CITY OF FRISCO, COLLIN COUNTY, TEXAS

FILE NAME: SY-HALL\_PARK-REPLAT (D,BLDG)DWG  
 PLOT DATE: 03/23/2021 08:56:56 AM  
 PLOTTED ON: 03/23/2021 09:03:31 AM



8140 Walnut Hill Lane, Suite 905  
 Dallas, Texas 75231

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**SURVEYOR**  
 URBAN STRUCTURE  
 JEFFERY MONTANYA, R.P.L.S.  
 JMONTANYA@URBANSTRUCT.COM  
 PHONE: (214) 295-5775

**OWNER**  
 HALL 3101 GAYLORD II, LLC  
 CONTACT: DONALD L. BRAUN  
 2323 ROSS AVENUE, SUITE: 200  
 DALLAS, TEXAS 75201  
 PHONE: (214) 269-9500

**OWNER**  
 HALL 3200 INTERNET, LLC  
 CONTACT: DONALD L. BRAUN  
 2323 ROSS AVENUE, SUITE: 200  
 DALLAS, TEXAS 75201  
 PHONE: (214) 269-9500

**GENERAL NOTES FOR ALL CONSTRUCTION ACTIVITIES:**

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT ROW INSPECTION DIVISION OF PUBLIC WORKS AT 972-292-5820 FOR A PERMIT TO WORK WITHIN CITY ROW.
- CONTRACTORS ARE ALLOWED TO MAKE CONNECTIONS TO THE CITY WATER SYSTEM BY OPENING AN ACCOUNT AND RENTING A FIRE HYDRANT METER FROM THE DEPARTMENT OF PUBLIC WORKS. THE COMPANY OR INDIVIDUAL IS SOLELY RESPONSIBLE FOR THE COST OF THE RENTAL EQUIPMENT AND ITS PROPER USE WITHIN THE CITY OF FRISCO WATER SYSTEM. THE COMPANY OR INDIVIDUAL IS ALSO RESPONSIBLE FOR THE COST OF THE WATER USED. REFER TO THE CITY OF FRISCO FIRE HYDRANT METER POLICY (HTTP://FRISCO.TEXAS.GOV/DOCUMENTCENTER/VIEW/11332) FOR FEES AND REQUIREMENTS.
- CONTRACTOR MUST KEEP AVAILABLE ONSITE, AT ALL TIMES, APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE APPROPRIATE VERSIONS OF THE FOLLOWING REFERENCES: CITY OF FRISCO ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY, SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CITY.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE AND WEEKLY PROGRESS REPORTS.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (TEXAS811 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CITY'S RECORDS.

**GENERAL NOTES FOR TRAFFIC CONTROL:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION 972-292-5400 A MINIMUM OF 48 HOURS IN ADVANCE OF THE REQUESTED CLOSURE. CLOSURES WILL NOT BE ALLOWED PRIOR TO 9:00 OR AFTER 3:30 P.M., MONDAY THROUGH FRIDAY UNLESS OTHERWISE APPROVED BY THE CITY.

**GENERAL NOTES FOR PAVING:**

- ALL PAVING CONSTRUCTION, TESTING, AND MATERIALS, INCLUDING CONCRETE, REINFORCEMENT, JOINTING, AND SUBGRADE PREPARATION AND TREATMENT SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- NO EARTHWORK, LIME APPLICATION, OR OTHER PREPARATION OF THE SUBGRADE FOR PAVING OF STREETS, ALLEYS, OR FIRE LANES SHALL BE INITIATED WITHOUT AUTHORIZATION FROM THE CITY. THE CITY WILL AUTHORIZE THE SUBGRADE WORK IN PREPARATION FOR PAVING AFTER UTILITY TRENCH BACKFILL TESTING HAS BEEN COMPLETED AND VERIFIED TO MEET THE CITY REQUIREMENTS.
- PLACING OF CONCRETE PAVEMENT:
 

MACHINE FINISHED: A SLIP-FORM PAVING MACHINE SHALL BE USED FOR ALL PUBLIC STREETS AND ALLEYS UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF ENGINEERING SERVICES.

HAND FINISHED: HAND FINISHED PAVEMENT IS PERMITTED FOR TURN LANES, DECELERATION LANES, DRIVEWAY APPROACHES, OR PANEL REPLACEMENT OF PUBLIC STREETS OR ALLEYS.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL PEDESTRIAN WORK MEETS OR EXCEEDS THE CURRENT AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND THE TEXAS ACCESSIBILITY STANDARDS (TAS). THE CONTRACTOR SHALL REMOVE AND REPLACE ANY CONSTRUCTED OR INSTALLED ITEMS NOT MEETING THE CURRENT ADAAG AND TAS REQUIREMENTS AT NO ADDITIONAL COST TO THE CITY.

**GENERAL NOTES FOR TRAFFIC SIGNALS AND STREET LIGHTING:**

- ALL TRAFFIC SIGNAL AND STREET LIGHTING CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE MOST CURRENT NATIONAL ELECTRICAL CODE, CITY AND TXDOT SPECIFICATIONS AND STANDARDS.
- CONTRACTOR SHALL NOTIFY THE TRAFFIC DEPARTMENT (TRACY NICHOLS) AT LEAST 7 BUSINESS DAYS PRIOR TO ANY WORK. PROVIDE A CONSTRUCTION SCHEDULE AND WEEKLY PROGRESS REPORTS TO THE TRAFFIC DEPARTMENT, AND NOTIFY THE TRAFFIC DEPARTMENT AT LEAST 48 HOURS PRIOR TO SIGNAL TURN-ON.
- CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICES WITH THE CITY AND EITHER ONCOR OR COSERV REPRESENTATIVES (ACCORDING TO THEIR RESPECTIVE AREA).
- CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC COMPANY TO DE-ENERGIZE ANY OVERHEAD OR UNDERGROUND POWER LINES. ANY COST ASSOCIATED WITH DE-ENERGIZING THE POWER LINE AND/OR ANY OTHER PROTECTIVE MEASURES REQUIRED SHALL BE AT NO COST TO CITY.
- THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY AND TXDOT/NTTA (IF WITHIN TXDOT/NTTA ROW) PRIOR TO BEGINNING ERECTION OF POLES, LUMINAIRES AND STRUCTURES LOCATED NEAR ANY OVERHEAD OR UNDERGROUND UTILITIES.
- PROPOSED CONCRETE FOUNDATION AND CONDUIT ALIGNMENT SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE CITY PRIOR TO INSTALLATION.
- CONTRACTOR SHALL CONTACT THE CITY TRAFFIC DEPARTMENT (BETWEEN 8 AM -5PM) FOR INSPECTION PRIOR TO POURING ANY CONCRETE FOUNDATION AND DIGGING FOR CONDUIT RUNS AT LEAST 48 HOURS IN ADVANCE.
- CONTRACTOR SHALL HAVE A QUALIFIED IMSA LEVEL II OR A TRF453 CERTIFIED TECHNICIAN ON THE PROJECT SITE TO PLACE THE TRAFFIC SIGNALS IN OPERATION.
- ELECTRICAL WORK SHALL BE PERFORMED BY CERTIFIED PERSONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT AND MAY BE REJECTED AS UNSUITABLE FOR USE DUE TO POOR WORKMANSHIP. THE REQUIRED ELECTRICAL CERTIFICATION COURSE IS AVAILABLE AND IS SCHEDULED PERIODICALLY BY TEEEX. ALTERNATIVELY, THE CONTRACTOR MAY PURCHASE AN ENTIRE COURSE FOR THEIR PERSONNEL TO BE HELD AT A TIME AND LOCATION OF THEIR CHOICE AS NEGOTIATED THROUGH TEEEX. FOR MORE INFORMATION, CONTACT: TEXAS ENGINEERING EXTENSION SERVICE (TEEX), TXDOT ELECTRICAL SYSTEM COURSE, (979) 845-6563
- THE CONTRACTOR SHALL NOT PLACE PEDESTRIAN CROSSWALK AND STOP BAR PAVEMENT MARKINGS UNTIL SIGNAL IS OPERATIONAL.
- ALL LIGHTING POLES, FIXTURES, AND ARMS WHICH ARE REMOVED SHALL BE DELIVERED TO THE CITY PUBLIC WORKS FACILITY (11300 RESEARCH ROAD, FRISCO, TEXAS 75034) BY THE CONTRACTOR AND WILL REMAIN THE PROPERTY OF THE CITY. CONTACT THE TRAFFIC DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF DELIVERY.
- DURING THE 30-DAY TRAFFIC SIGNAL TEST PERIOD, CONTRACTOR SHALL RESPOND TO AND DIAGNOSE ALL TROUBLE CALLS WITH QUALIFIED PERSONNEL WITHIN A REASONABLE TRAVEL TIME FROM A DALLAS ADDRESS, BUT NOT MORE THAN TWO (2) HOURS MAXIMUM. CONTRACTOR SHALL REPAIR ANY MALFUNCTIONS OF SIGNAL EQUIPMENT SUPPLIED BY CONTRACTOR ON THE PROJECT. A LOCAL TELEPHONE NUMBER (NOT SUBJECT TO FREQUENT CHANGES) WHERE TROUBLE CALLS ARE TO BE RECEIVED ON A 24-HOUR BASIS SHALL BE PROVIDED TO THE CITY BY THE CONTRACTOR. APPROPRIATE REPAIRS SHALL BE MADE WITHIN 24 HOURS. THE CONTRACTOR SHALL KEEP A RECORD OF EACH TROUBLE CALL REPORTED IN THE LOGBOOK PROVIDED BY THE CITY AND SHALL NOTIFY THE CITY OF EACH TROUBLE CALL. THE ERROR LOG IN THE MALFUNCTION MANAGEMENT UNIT (MMU) SHALL NOT BE CLEARED DURING THE 30-DAY TEST PERIOD WITHOUT THE APPROVAL OF THE CITY.
- TEXAS STATE LAW, ARTICLE 1436C, MAKES IT UNLAWFUL TO OPERATE EQUIPMENT OR MACHINES WITHIN 10-FEET OF ANY OVERHEAD ELECTRICAL LINES UNLESS DANGER AGAINST CONTACT WITH HIGH VOLTAGE OVERHEAD LINES HAS BEEN EFFECTIVELY GUARDED AGAINST PURSUANT TO THE PROVISIONS OF THIS ARTICLE. WHEN CONSTRUCTION OPERATIONS REQUIRE WORKING NEAR AN OVERHEAD ELECTRICAL LINE, THE CONTRACTOR SHALL CONTACT THE OWNER/OPERATOR OF THE OVERHEAD ELECTRICAL LINE TO MAKE ADEQUATE ARRANGEMENTS AND TO TAKE NECESSARY SAFETY PRECAUTIONS TO ENSURE THAT ALL LAWS, ELECTRICAL LINE OWNER/OPERATOR REQUIREMENTS AND STANDARD SAFETY PRACTICES ARE MET.

**GENERAL NOTES FOR STORM DRAIN:**

- ALL STORM DRAIN CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN PRIOR TO THE PRE-CONSTRUCTION MEETING.
- TWO WEEKS PRIOR TO CONNECTING TO EXISTING STORM DRAIN LINES, THE CONTRACTOR SHOULD INSPECT THE EXISTING LINE AND CONTACT THE STORMWATER INSPECTOR SHOULD THE LINE NEED TO BE CLEANED.
- CONTRACTOR SHOULD INSPECT ALL STORM DRAIN OUTFALLS NO EARLIER THAN TWO WEEKS PRIOR TO FINAL INSPECTION AND REMOVE ALL SILT AND DEBRIS.

**GENERAL NOTES FOR WATER AND WASTEWATER:**

- ALL WATER AND WASTEWATER CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN PRIOR TO THE PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL NOT OPERATE EXISTING VALVES. CONTACT THE CITY'S PUBLIC WORKS DEPARTMENT TO REQUEST VALVE CHANGES.
- ANY EXISTING FIRE HYDRANT THAT IS MODIFIED AND HAS A DATE THAT EXCEEDS 8 YEARS IN AGE SHALL BE REPLACED AND THE OLD FIRE HYDRANT RETURNED TO THE PUBLIC WORKS DEPARTMENT BY THE CONTRACTOR AT HIS EXPENSE.
- ANY EXISTING MANHOLE WITH AN OPENING SMALLER THAN 30" DIAMETER THAT IS MODIFIED SHALL HAVE THE CONE SECTION, RING, AND COVER REPLACED WITH A MINIMUM OF 30" DIAMETER CONE SECTION, RING, AND COVER BY THE CONTRACTOR AT HIS EXPENSE.

**GENERAL NOTES FOR LANDSCAPING:**

- ALL LANDSCAPING CONSTRUCTION, INSTALLATION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY.
- PRIOR TO OBTAINING A GRADING PERMIT OR SCHEDULING A PRE-CONSTRUCTION MEETING:
  - WHERE TRANSPLANTING OR TREE REMOVAL IS REQUIRED, CONTRACTOR MUST APPLY FOR A TREE PERMIT. CONTACT DEVELOPMENT SERVICES LANDSCAPE ARCHITECT FOR TREE PERMIT.
  - ALL TREE MARKINGS AND PROTECTIVE FENCING MUST BE INSTALLED BY THE CONTRACTOR AND BE INSPECTED BY THE CITY'S LANDSCAPE ARCHITECT.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A 4' TALL BRIGHTLY COLORED PLASTIC FENCE PLACED AT THE DRIP LINE OF THE TREES.
- TREES TO BE REMOVED MAY BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE. BURNING OF REMOVED TREES, STUMPS, OR FOLIAGE REQUIRES WRITTEN APPROVAL BY THE FIRE DEPARTMENT.
- PLANT MATERIALS SHALL NOT IMPEDE OR OBSTRUCT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC ALONG CITY RIGHT-OF-WAY, VISIBILITY EASEMENTS, SIDEWALKS OR OTHER EASEMENTS.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.

**GENERAL NOTES FOR IRRIGATION:**

- ALL IRRIGATION CONSTRUCTION, INSTALLATION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- A PERMIT FROM THE BUILDING INSPECTION DIVISION IS REQUIRED FOR EACH IRRIGATION SYSTEM.
- CONTRACTOR SHALL NOTIFY THE PARKS DEPARTMENT PRIOR TO ANY MODIFICATIONS TO THE EXISTING IRRIGATION SYSTEM.
- CONTRACTOR SHALL CONTACT THE PARKS DEPARTMENT TO COORDINATE WORK PRIOR TO COMMENCING WORK ON ANY EXISTING IRRIGATION AND PRIOR TO ANY INSTALLATION OF NEW IRRIGATION.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY.
- CONTRACTOR SHALL PROGRAM EACH CONTROLLER ZONE BASED ON SPRINKLER TYPE, PLANT VARIETY, SOIL CHARACTERISTIC, SLOPE AND SOLAR ORIENTATION AS DESIGNATED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE CITY PARKS DEPARTMENT FOR APPROVAL OF THE CONTROLLER SETTINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH FRANCHISE UTILITY PROVIDER TO PROVIDE POWER TO EACH IRRIGATION CONTROLLER. CONTRACTOR SHALL HAVE UNDERGROUND POWER LINES INSTALLED FROM POWER SOURCE UP TO THE CONTROLLER. CONTRACTOR SHALL MEET CONTROLLER SPECIFICATIONS FOR POWER REQUIREMENTS.
- CONTRACTOR SHALL SET A TEMPORARY CONTROLLER TO ESTABLISH LANDSCAPE. ONCE LANDSCAPE IS ESTABLISHED, CONTRACTOR SHALL CONTACT THE CITY'S PARKS AND RECREATION DEPARTMENT FOR ASSISTANCE ON INSTALLATION OF A MOTOROLA CONTROLLER.

**GENERAL NOTES FOR EROSION CONTROL AND STORMWATER:**

- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- STEEL POSTS SHALL NOT BE USED TO INSTALL EROSION CONTROL MEASURES WITHIN CITY ROW.
- WIRE REINFORCEMENT SHALL BE USED ON ALL SILT FENCE USED FOR EROSION CONTROL.
- ASPHALT BAGS SHALL BE PLACED AT CONSTRUCTION ENTRANCES TO PREVENT CURB DAMAGE.
- GEOTEXTILE FABRIC SHALL BE PLACED ON SUBGRADE PRIOR TO STONE PLACEMENT FOR CONSTRUCTION ENTRANCES.
- NO EQUIPMENT SHALL BE CLEANED ON-SITE, OR OTHER LIQUIDS DEPOSITED AND ALLOWED TO FLOW OVERLAND OR SUBTERRANEAN WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF TREES THAT REMAIN ON SITE. THIS INCLUDES PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, CONCRETE EQUIPMENT WASH WATER, MORTAR OF SIMILAR MATERIALS.

NO.	DATE	REVISION

TEL: 214-295-5775  
www.urbanstruct.com

**URBAN STRUCTURE**  
8300 Walnut Hill Lane, Suite 905  
Dallas, Texas 75231  
Firm Registration #F-2485



**HALL PARK D1**  
3200 INTERNET BOULEVARD  
FRISCO, COLLIN COUNTY, TEXAS  
CD PROGRESS PACKAGE

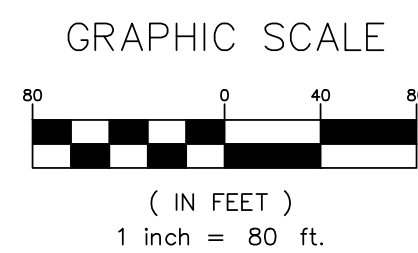
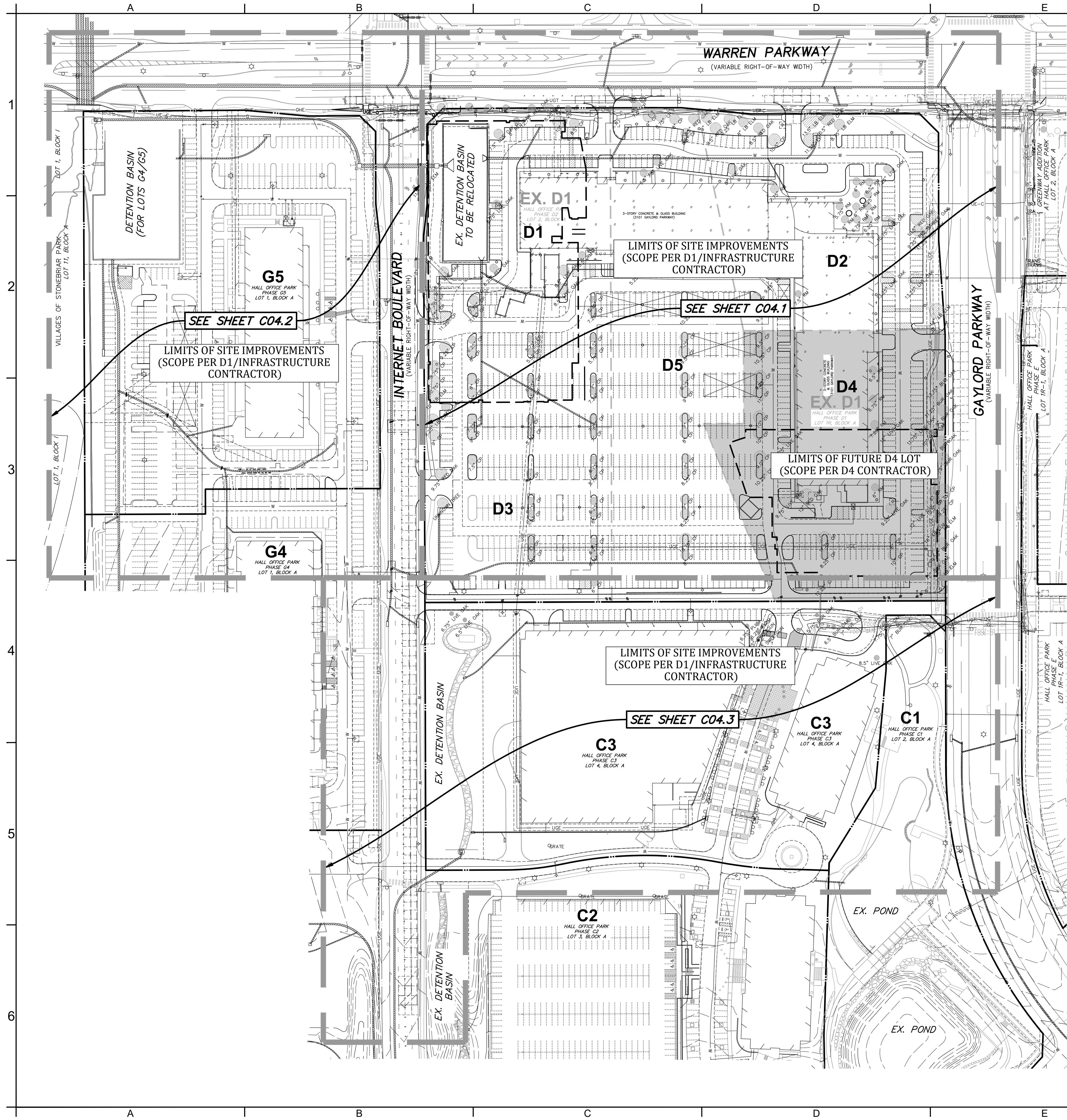
**FRISCO GENERAL CONSTRUCTION NOTES**

PROJECT: HALL GROUP  
DRAWN BY: DTE  
DESIGNER: BTD  
REVIEWER: DEB  
U.S. PROJECT: 18666

SHEET TITLE:  
**C03.0**

FILE NAME: D1 COVER.DWG  
DATE: 07/16/2023 10:01:56 AM  
LAST MODIFIED BY: DWGENT  
PLOT DATE: 07/16/2023 10:01:56 AM  
PLOTTED ON: 07/16/2023 10:01:56 AM

FILE NAME: C:\DEMOLITION\DWG  
 LAST MODIFIED BY: TEBERT  
 LAST MODIFIED ON: 05/20/2021 11:05 AM  
 PLOTTED ON: 7/16/2021 12:01 PM



- LEGEND**
- PROPERTY LINE
  - FUTURE PROPERTY LINE
  - FULL-DEPTH SAWCUT
  - EX. GAS LINE
  - OHE EX. OVERHEAD ELECTRIC LINE
  - TEL EX. TELEPHONE LINE
  - W EX. WATER
  - SS EX. SANITARY SEWER
  - UGE EX. UNDERGROUND ELECTRIC
  - X X X X DENOTES EXISTING UTILITY TO BE REMOVED
  - EX. TREE TO BE REMOVED. CONTRACTOR TO VERIFY W. TREE PRESERVATION PLAN.

- NOTES:**
- D1/D4 CONTRACTOR TO MAINTAIN A FIRE LANE WITH EXISTING PAVEMENT LOCATED ON THE D BLOCK. FIRE LANE TO BE WITHIN 150' OF ALL POINTS OF THE FUTURE D1/D4 BUILDING FOOTPRINT. COORDINATION WITH FIRE MARSHALL IS REQUIRED TO ENSURE ADEQUATE FIRE LANES ARE PROVIDED AT ALL TIMES DURING CONSTRUCTION.
  - PRIOR TO REMOVAL OF ANY PAVEMENT, D1/D4 CONTRACTOR SHALL COORDINATE WITH OWNER, INFRASTRUCTURE/SITE CONTRACTOR, AND CITY OF FRISCO FIRE MARSHALL.
  - D1/D4 CONTRACTOR SHALL VERIFY EXTENTS OF PREVIOUS DEMOLITION REMOVAL WITH OWNER AND SITE/INFRASTRUCTURE CONTRACTOR TO QUANTIFY SCOPE OF WORK.
  - D1/D4 CONTRACTOR TO COORDINATE WITH OWNER & SITE/INFRASTRUCTURE CONTRACTOR PER THE PHASING OF THE INFRASTRUCTURE PLAN SET PER CITY PLAN SET #6321-XXXX.

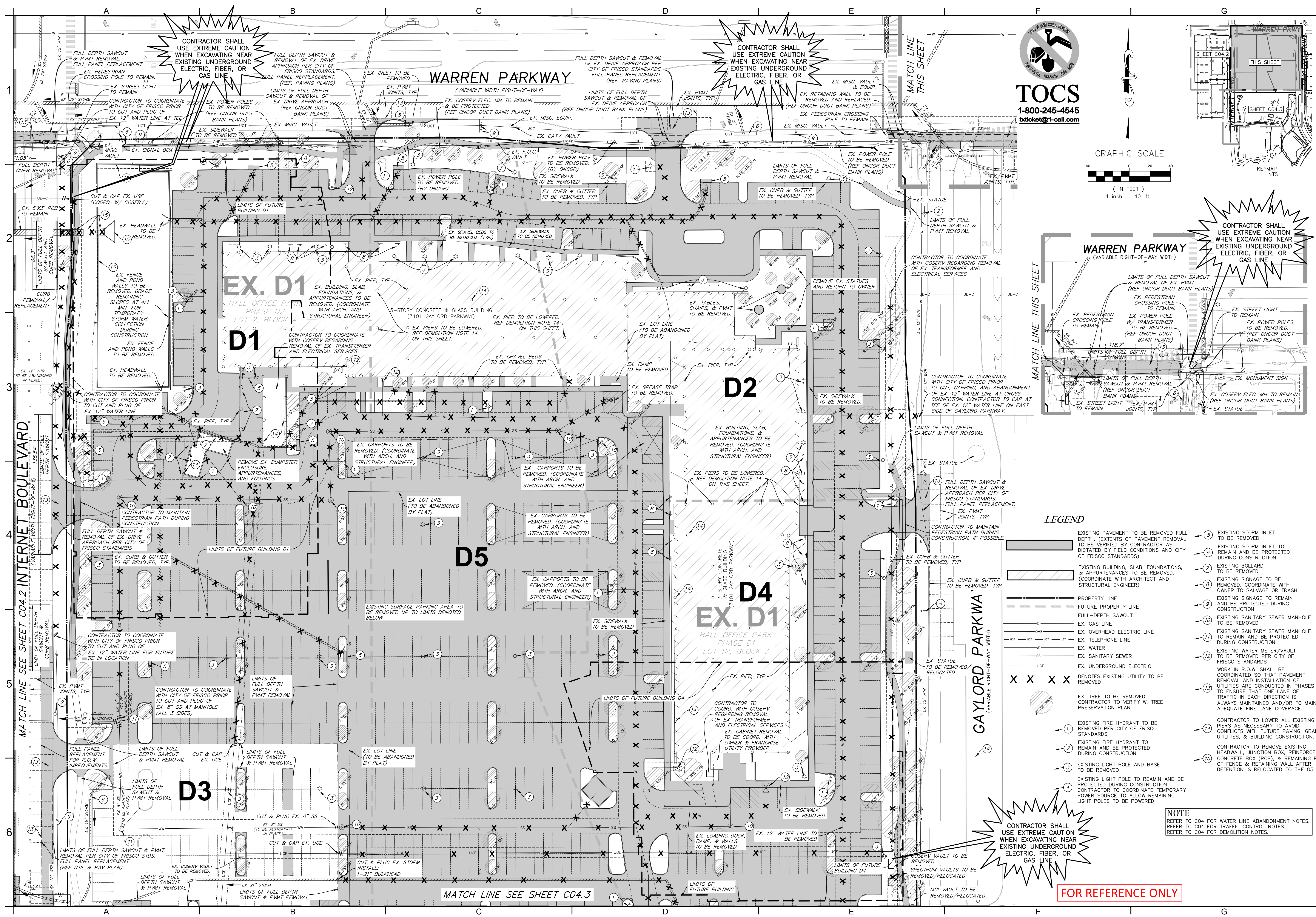
- WATER LINE ABANDONMENT NOTES:**
- EXISTING AND UNUSED WATER SERVICES AND STUB OUTS SHALL BE ABANDONED AT THE MAIN. WATER SERVICES SHOULD BE REMOVED AND PLUGGED AT THE SADDLE.
  - DEAD END WATER LINES SHOULD BE REMOVED AND CAPPED AT THE CONNECTION.
  - WATER LINE ABANDONMENT IN PLACE IS TO FOLLOW THE FOLLOWING:
    - THE ABANDONED PORTION IS TO BE CUT, THE FIRST FULL LENGTH OF PIPE REMOVED, THEN CAPPED.
    - ALL VALVES, STUBS, AND SERVICES SHOULD BE REMOVED AND CAPPED OR PLUGGED AT THE CONNECTION TO THE ABANDONED WATER LINE.
    - RETURN ALL ABANDONED METERS AND FIRE HYDRANTS TO PUBLIC WORKS DEPARTMENT.

- DEMOLITION NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION & REMOVAL OF CONCRETE SHOWN TO BE REMOVED SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL & BROUGHT TO GRADE WITH SUITABLE, COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT PROVIDED BY OWNER.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS INVOLVED & IS RESPONSIBLE FOR REMOVING & DUMPING THE DEBRIS IN AN APPROVED, LAWFUL MANNER.
  - THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE EXISTING ADJACENT PROPERTIES AT ALL TIMES.
  - SITE IS OCCUPIED BY PAVEMENT, POWER POLES, OVER HEAD ELECTRICAL LINES, & GAS LINES. IT IS CONTRACTORS RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES THAT MAY HAVE UTILITIES ON THE SITE TO GET A DETERMINATION IF ANY UTILITIES EXISTING WILL BE IMPACTED.
  - ALL AREAS WHERE PAVEMENT, STRUCTURE SLABS, FOUNDATIONS, UTILITIES, CONDUITS, &/OR UTILITY STRUCTURES HAVE BEEN REMOVED SHALL BE BACKFILLED WITH SELECT BACKFILL MATERIAL. ALL SELECT BACKFILL MATERIAL SHALL BE PLACED & COMPACTED PER THE REQUIREMENTS OF THE SITE WORK SPECIFICATIONS.
  - CONTRACTOR IS RESPONSIBLE FOR WALKING SITE & DETERMINING EXTENTS OF DEMOLITION WORK PRIOR TO BID DATE.
  - PRIOR TO ANY WORK ONSITE, THE CONTRACTOR SHALL CONTACT THE TEXAS ONE CALL SYSTEM - AT 1-800-245-4545. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY REMOVALS WHETHER LOCATED BY THE ONE CALL SYSTEM OR NOT
  - CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH LOCAL AUTHORITIES AND ADJACENT PROPERTY OWNERS ANY NEEDS FOR CONSTRUCTION FENCING.
  - PRIOR TO ANY ONSITE WORK WEST OF INTERNET BOULEVARD, THE CONTRACTOR SHALL CONTACT THE CITY OF FRISCO FIRE DEPARTMENT AND COORDINATE HOW WORK WILL OCCUR IN THE FIRE LANES WHILE MAINTAINING PROPER EMERGENCY ACCESS.
  - PRIOR TO ANY ONSITE WORK WEST OF INTERNET BOULEVARD, THE CONTRACTOR SHALL CONTACT CITY OF FRISCO ENVIRONMENTAL SERVICES AND COORDINATE HOW TRASH WILL BE COLLECTED DURING THE WORK.
  - CONTRACTOR SHOULD VERIFY ANY TREE DEMOLITION AND/OR RELOCATIONS WITH LANDSCAPE ARCHITECT OR OWNER PRIOR TO BEGINNING WORK ON SITE.
  - CONTRACTOR TO ONLY REMOVE ON-SITE SIGNAGE AS NOTED.
  - CONTRACTOR TO REMOVE EX. IRRIGATION SYSTEM AND ALL APPURTENANCES.
  - THE SAWCUT LINES SHOWN ARE FOR GENERAL REPRESENTATION ONLY AND MAY VARY DEPENDING ON EXISTING FIELD CONDITIONS OF PAVEMENT JOINTS. CONTRACTOR SHALL REFERENCE CITY OF FRISCO PAVEMENT CUT AND REPAIR STANDARDS MANUAL.
  - CONTRACTOR TO VERIFY IF EXISTING PIERS ARE IN CONFLICT WITH FUTURE UTILITY INSTALLATIONS. PIERS IN CONFLICT WITH FUTURE UTILITY INSTALLATIONS ARE TO BE BROUGHT DOWN 2' MINIMUM BELOW UTILITY FLOW LINE.
  - PAVEMENT/UTILITY IMPROVEMENTS WITHIN LIMITS OF CITY OF FRISCO RIGHT-OF-WAY WILL REQUIRE FULL PANEL REPLACEMENT.

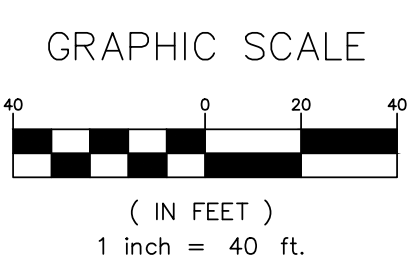
- TRAFFIC CONTROL NOTE:**
- CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY TRAFFIC CONTROL DEVICES IN ORDER TO CARRY OUT THIS WORK.
  - CONTRACTOR TO SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF FRISCO TRAFFIC ENGINEERING DEPARTMENT FOR THEIR REVIEW AND APPROVAL PRIOR TO ANY DEMOLITION OR CONSTRUCTION WITHIN CITY R.O.W.
  - ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST MUTCD GUIDELINES AND LOCAL REGULATIONS.
  - THE TRAFFIC CONTROL PLAN SHALL BE DISCUSSED WITH ADJACENT PROPERTY OWNERS PRIOR TO DEMOLITION.

**FOR REFERENCE ONLY**

<p>8300 Walnut Hill Lane, Suite 905        Dallas, Texas 75231        From registration #F-5345</p>		<p>TEL: 214-295-9775        www.urbanstructure.com</p>	<p>07/16/2021 CD PROGRESS PACKAGE</p>
		<p>NO. DATE</p>	<p>REVISION</p>
<p><b>HALL PARK D1</b>        3200 INTERNET BOULEVARD        FRISCO, COLLIN COUNTY, TEXAS        CD PROGRESS PACKAGE</p>		<p><b>INF. OVERALL DEMOLITION PLAN</b></p>	
<p>CLIENT: HALL GROUP</p>	<p>DRAWN BY: DTE</p>	<p>DESIGNER: BTB</p>	<p>REVIEWER: DEB</p>
<p>SHEET  <b>C04.0</b></p>		<p>U.S. PROJECT: 18566</p>	

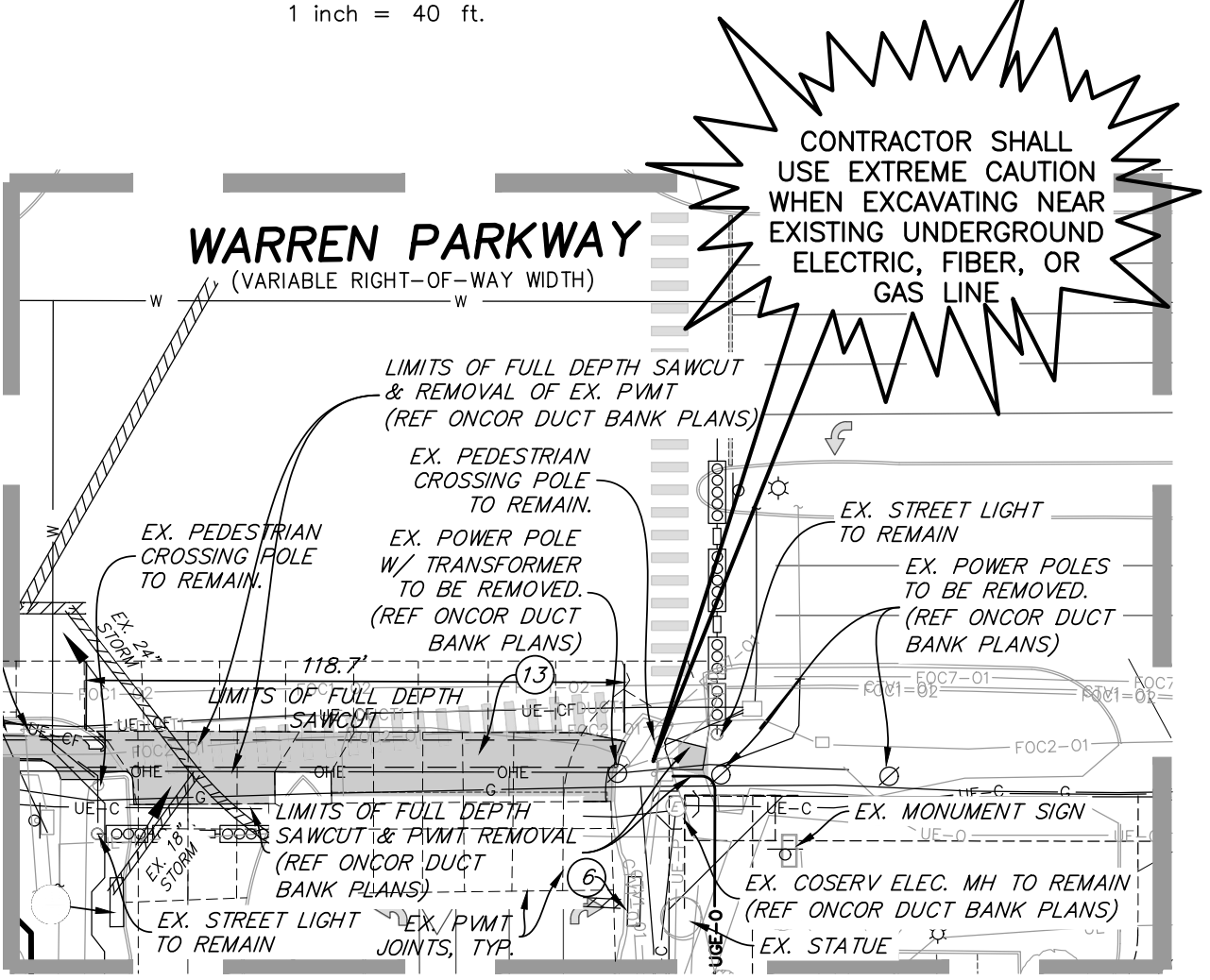


**TOCS**  
 1-800-245-4545  
 tbticket@t-call.com



MATCH LINE THIS SHEET

MATCH LINE THIS SHEET



**LEGEND**

- EXISTING PAVEMENT TO BE REMOVED FULL DEPTH. (EXTENTS OF PAVEMENT REMOVAL TO BE VERIFIED BY CONTRACTOR BY FIELD CONDITIONS AND CITY OF FRISCO STANDARDS)
- EXISTING BUILDING, SLAB, FOUNDATIONS, & APPURTENANCES TO BE REMOVED. (COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER)
- PROPERTY LINE
- FUTURE PROPERTY LINE
- FULL-DEPTH SAWCUT
- EX. GAS LINE
- EX. OVERHEAD ELECTRIC LINE
- EX. TELEPHONE LINE
- EX. WATER
- EX. SANITARY SEWER
- EX. UNDERGROUND ELECTRIC
- EXISTING STORM INLET
- EXISTING STORM INLET TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- EXISTING BOLLARD TO BE REMOVED
- EXISTING SIGNAGE TO BE REMOVED
- EXISTING SIGNAGE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- EXISTING SANITARY SEWER MANHOLE TO BE REMOVED
- EXISTING SANITARY SEWER MANHOLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- EXISTING WATER METER/VAULT TO BE REMOVED PER CITY OF FRISCO STANDARDS
- WORK IN R.O.W. SHALL BE COORDINATED SO THAT PAVEMENT REMOVAL AND INSTALLATION OF UTILITIES ARE CONDUCTED IN PHASES TO ENSURE THAT ONE LANE OF TRAFFIC IN EACH DIRECTION IS ALWAYS MAINTAINED AND/OR TO MAIN ADEQUATE FIRE LANE COVERAGE
- EX. TREE TO BE REMOVED. CONTRACTOR TO VERIFY W. TREE PRESERVATION PLAN.
- EXISTING FIRE HYDRANT TO BE REMOVED PER CITY OF FRISCO STANDARDS
- EXISTING FIRE HYDRANT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- EXISTING LIGHT POLE AND BASE TO BE REMOVED
- EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. CONTRACTOR TO COORDINATE TEMPORARY POWER SOURCE TO ALLOW REMAINING LIGHT POLES TO BE POWERED

**NOTE**  
 REFER TO C04 FOR WATER LINE ABANDONMENT NOTES.  
 REFER TO C04 FOR TRAFFIC CONTROL NOTES.  
 REFER TO C04 FOR DEMOLITION NOTES.

**FOR REFERENCE ONLY**

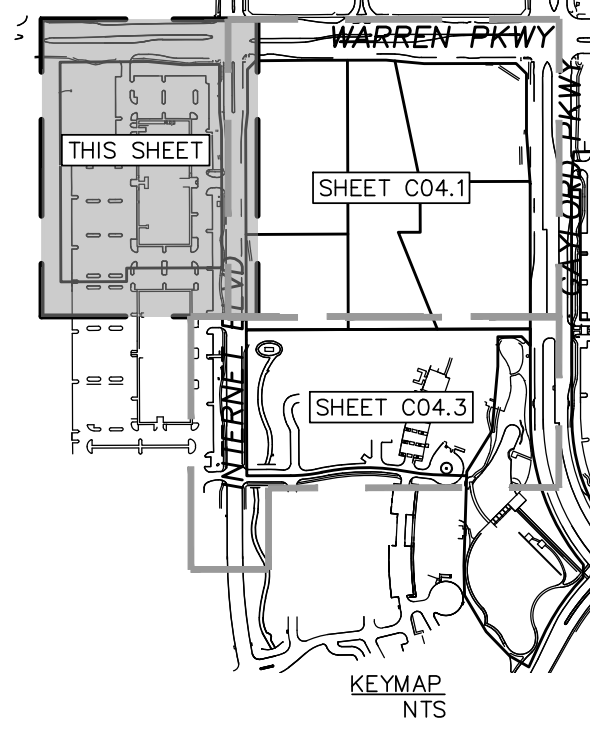
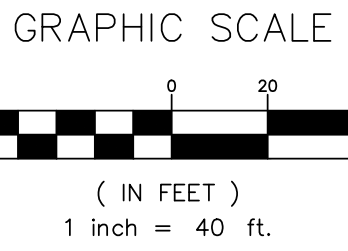
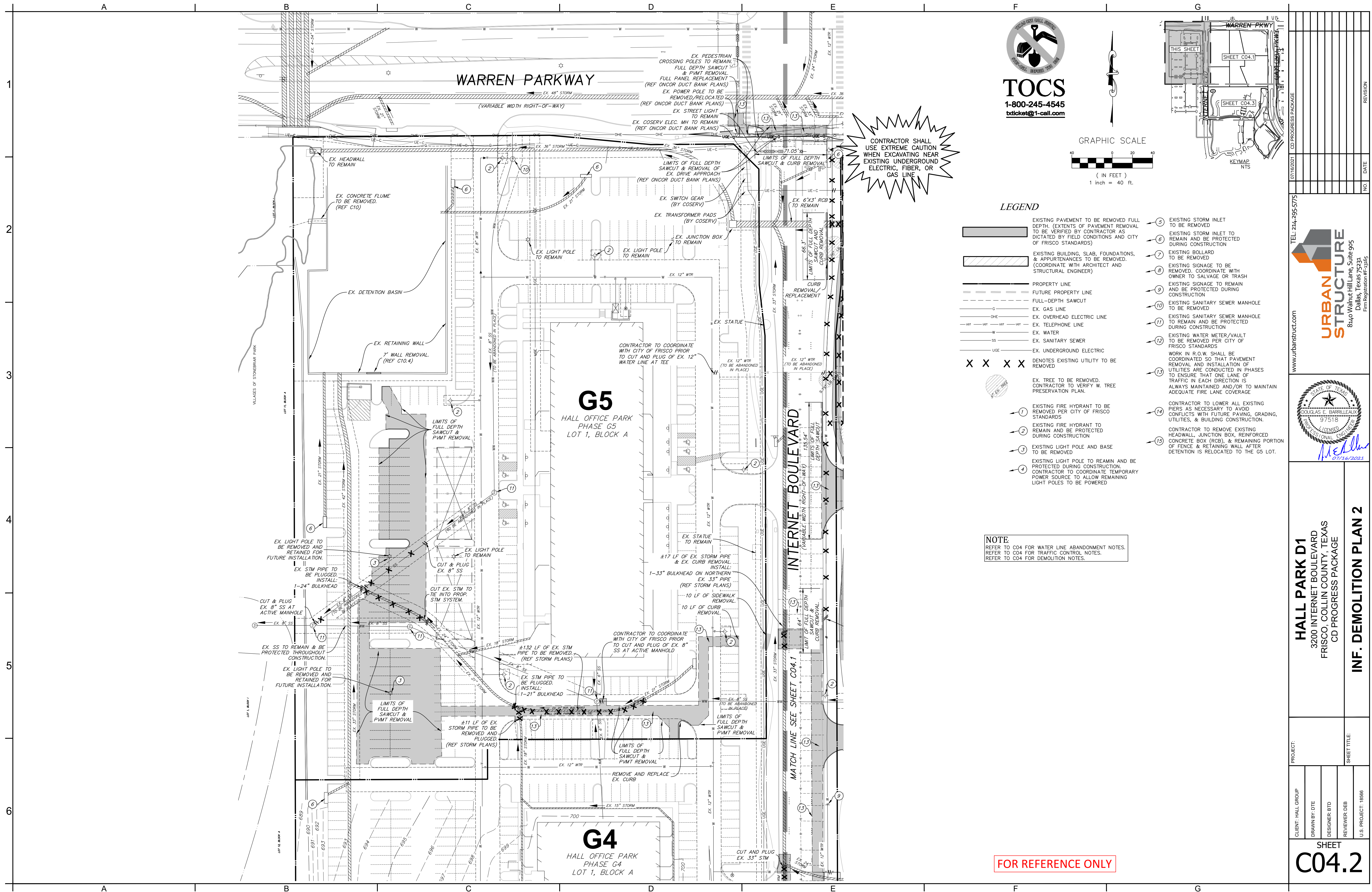
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 3200 INTERNET BOULEVARD  
 FRISCO, COLLIN COUNTY, TEXAS  
 CD PROGRESS PACKAGE  
 INF. DEMOLITION PLAN 1  
 SHEET TITLE: C04.1  
 U.S. PROJECT: 18666  
 REVIEWER: DEB  
 DESIGNER: BTD  
 DRAWN BY: DTE  
 CLIENT: HALL GROUP  
 PROJECT NO.: 244-295-8775  
 DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 NO. \_\_\_\_\_  
 DATE \_\_\_\_\_

8340 Walnut Hill Lane, Suite 905  
 Dallas, Texas 75231  
 Registration #18546

Douglas E. Barrilleaux  
 07/16/2023

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 PLOTTED ON: 7/16/2023 1:58 PM

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LAST MODIFIED BY: TEBERT  
LAST MODIFIED ON: 05/20/2023 11:55 AM  
PLOTTED ON: 7/16/2023 1:41 PM



CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING NEAR EXISTING UNDERGROUND ELECTRIC, FIBER, OR GAS LINE

LEGEND

- (Symbol) EXISTING PAVEMENT TO BE REMOVED FULL DEPTH. (EXTENTS OF PAVEMENT REMOVAL TO BE VERIFIED BY CONTRACTOR AS DICTATED BY FIELD CONDITIONS AND CITY OF FRISCO STANDARDS)
- (Symbol) EXISTING BUILDING, SLAB, FOUNDATIONS, & APPURTENANCES TO BE REMOVED. (COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER)
- (Symbol) PROPERTY LINE
- (Symbol) FUTURE PROPERTY LINE
- (Symbol) FULL-DEPTH SAWCUT
- (Symbol) EX. GAS LINE
- (Symbol) EX. OVERHEAD ELECTRIC LINE
- (Symbol) EX. TELEPHONE LINE
- (Symbol) EX. WATER
- (Symbol) EX. SANITARY SEWER
- (Symbol) EX. UNDERGROUND ELECTRIC
- (Symbol) EX. TREE TO BE REMOVED. CONTRACTOR TO VERIFY W. TREE PRESERVATION PLAN.
- (Symbol) EXISTING FIRE HYDRANT TO BE REMOVED PER CITY OF FRISCO STANDARDS
- (Symbol) EXISTING FIRE HYDRANT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- (Symbol) EXISTING LIGHT POLE AND BASE TO BE REMOVED
- (Symbol) EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. CONTRACTOR TO COORDINATE TEMPORARY POWER SOURCE TO ALLOW REMAINING LIGHT POLES TO BE POWERED
- (Symbol) EXISTING STORM INLET TO BE REMOVED
- (Symbol) EXISTING STORM INLET TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- (Symbol) EXISTING BOLLARD TO BE REMOVED
- (Symbol) EXISTING SIGNAGE TO BE REMOVED. COORDINATE WITH OWNER TO SALVAGE OR TRASH
- (Symbol) EXISTING SIGNAGE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- (Symbol) EXISTING SANITARY SEWER MANHOLE TO BE REMOVED
- (Symbol) EXISTING SANITARY SEWER MANHOLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- (Symbol) EXISTING WATER METER/VAULT TO BE REMOVED PER CITY OF FRISCO STANDARDS
- (Symbol) WORK IN R.O.W. SHALL BE COORDINATED SO THAT PAVEMENT REMOVAL AND INSTALLATION OF UTILITIES ARE CONDUCTED IN PHASES TO ENSURE THAT ONE LANE OF TRAFFIC IN EACH DIRECTION IS ALWAYS MAINTAINED AND/OR TO MAINTAIN ADEQUATE FIRE LANE COVERAGE
- (Symbol) CONTRACTOR TO LOWER ALL EXISTING PIERS AS NECESSARY TO AVOID CONFLICTS WITH FUTURE PAVING, GRADING, UTILITIES, & BUILDING CONSTRUCTION.
- (Symbol) CONTRACTOR TO REMOVE EXISTING HEADWALL, JUNCTION BOX, REINFORCED CONCRETE BOX (RCB), & REMAINING PORTION OF FENCE & RETAINING WALL AFTER DETENTION IS RELOCATED TO THE G5 LOT.

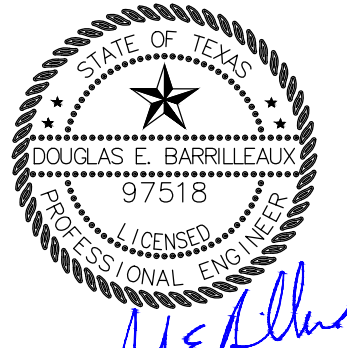
NOTE:  
REFER TO C04 FOR WATER LINE ABANDONMENT NOTES.  
REFER TO C04 FOR TRAFFIC CONTROL NOTES.  
REFER TO C04 FOR DEMOLITION NOTES.

NO.	DATE	REVISION

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8340 Walnut Hill Lane, Suite 905  
Dallas, Texas 75231  
Firm Registration #F-1545

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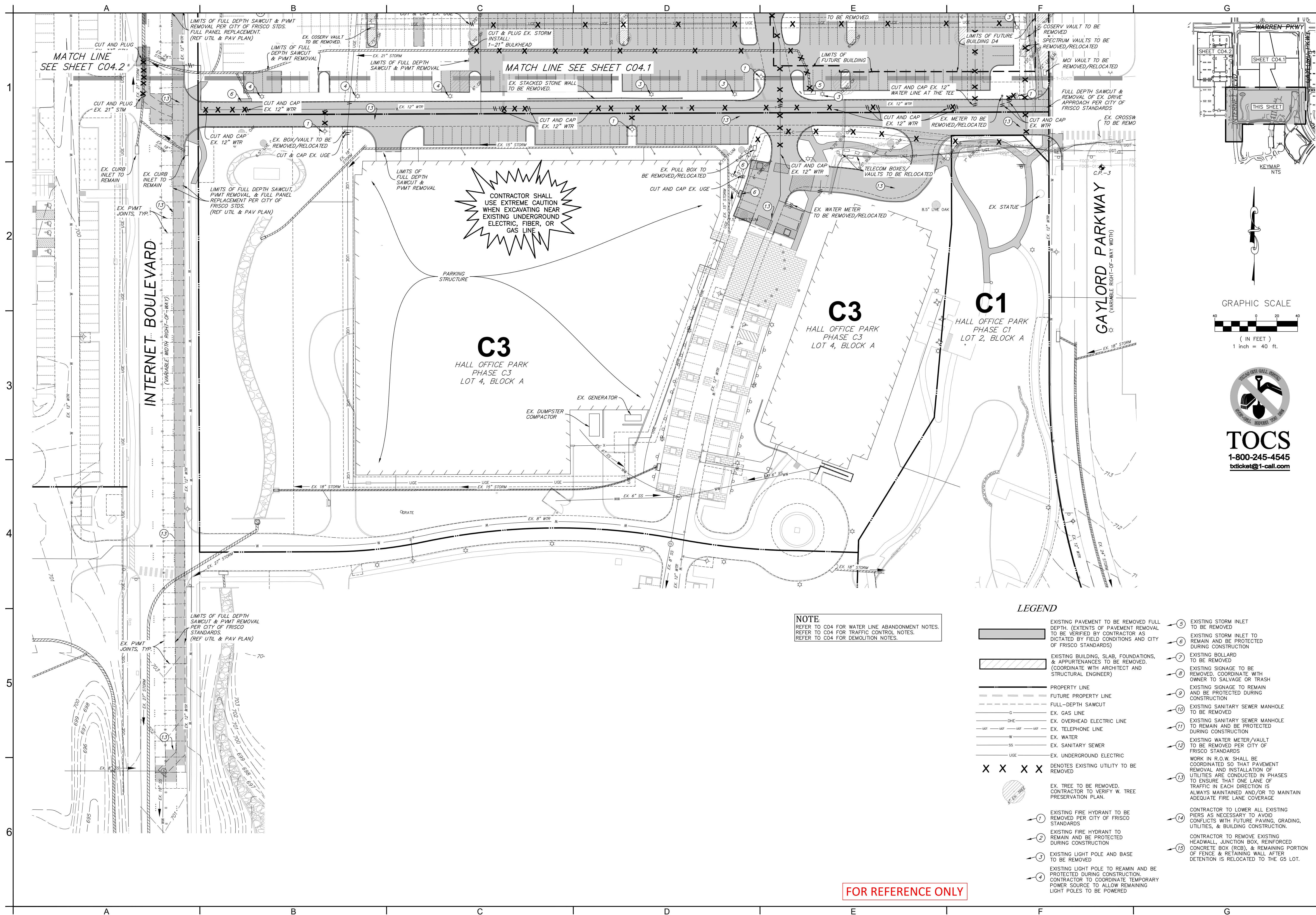
**HALL PARK D1**  
3200 INTERNET BOULEVARD  
FRISCO, COLLIN COUNTY, TEXAS  
CD PROGRESS PACKAGE

**INF. DEMOLITION PLAN 2**

CLIENT: HALL GROUP	DESIGNER: BTB	REVIEWER: DEB	U.S. PROJECT: 18558
DRAWN BY: DTE	PROJECT: 18558-Hall Park D1	SHEET TITLE: INF. DEMOLITION PLAN 2	

SHEET  
**C04.2**

FOR REFERENCE ONLY

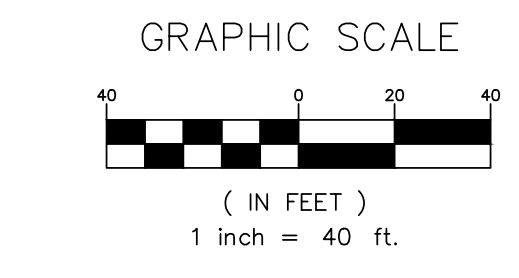


**CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING NEAR EXISTING UNDERGROUND ELECTRIC, FIBER, OR GAS LINE**

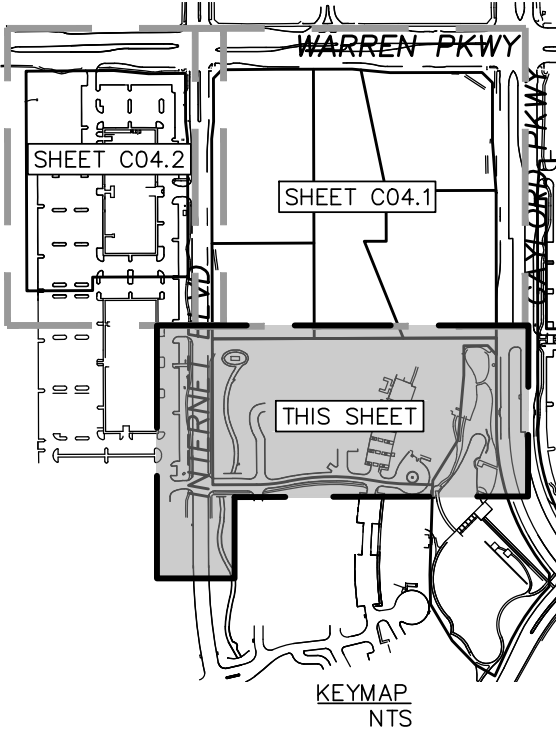
**NOTE.**  
 REFER TO C04 FOR WATER LINE ABANDONMENT NOTES.  
 REFER TO C04 FOR TRAFFIC CONTROL NOTES.  
 REFER TO C04 FOR DEMOLITION NOTES.

**LEGEND**

- EXISTING PAVEMENT TO BE REMOVED FULL DEPTH. (EXTENTS OF PAVEMENT REMOVAL TO BE VERIFIED BY CONTRACTOR AS DICTATED BY FIELD CONDITIONS AND CITY OF FRISCO STANDARDS)
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- PROPERTY LINE
- FUTURE PROPERTY LINE
- FULL-DEPTH SAWCUT
- EX. GAS LINE
- EX. OVERHEAD ELECTRIC LINE
- EX. TELEPHONE LINE
- EX. WATER
- EX. SANITARY SEWER
- EX. UNDERGROUND ELECTRIC
- EX. TREE TO BE REMOVED. CONTRACTOR TO VERIFY W. TREE PRESERVATION PLAN.
- EXISTING FIRE HYDRANT TO BE REMOVED PER CITY OF FRISCO STANDARDS
- EXISTING FIRE HYDRANT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- EXISTING LIGHT POLE AND BASE TO BE REMOVED
- EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. CONTRACTOR TO COORDINATE TEMPORARY POWER SOURCE TO ALLOW REMAINING LIGHT POLES TO BE POWERED
- EXISTING STORM INLET TO BE REMOVED
- EXISTING STORM INLET TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- EXISTING BOLLARD TO BE REMOVED
- EXISTING SIGNAGE TO BE REMOVED. COORDINATE WITH OWNER TO SALVAGE OR TRASH
- EXISTING SIGNAGE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- EXISTING SANITARY SEWER MANHOLE TO BE REMOVED
- EXISTING SANITARY SEWER MANHOLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- EXISTING WATER METER/VAULT TO BE REMOVED PER CITY OF FRISCO STANDARDS
- WORK IN R.O.W. SHALL BE COORDINATED SO THAT PAVEMENT REMOVAL AND INSTALLATION OF UTILITIES ARE CONDUCTED IN PHASES TO ENSURE THAT ONE LANE OF TRAFFIC IN EACH DIRECTION IS ALWAYS MAINTAINED AND/OR TO MAINTAIN ADEQUATE FIRE LANE COVERAGE
- CONTRACTOR TO LOWER ALL EXISTING PIERS AS NECESSARY TO AVOID CONFLICTS WITH FUTURE PAVING, GRADING, UTILITIES, & BUILDING CONSTRUCTION.
- CONTRACTOR TO REMOVE EXISTING HEADWALL, JUNCTION BOX, REINFORCED CONCRETE BOX (RCS), & REMAINING PORTION OF FENCE & RETAINING WALL AFTER DETENTION IS RELOCATED TO THE G5 LOT.



**TOCS**  
 1-800-245-4545  
 bticket@1-call.com



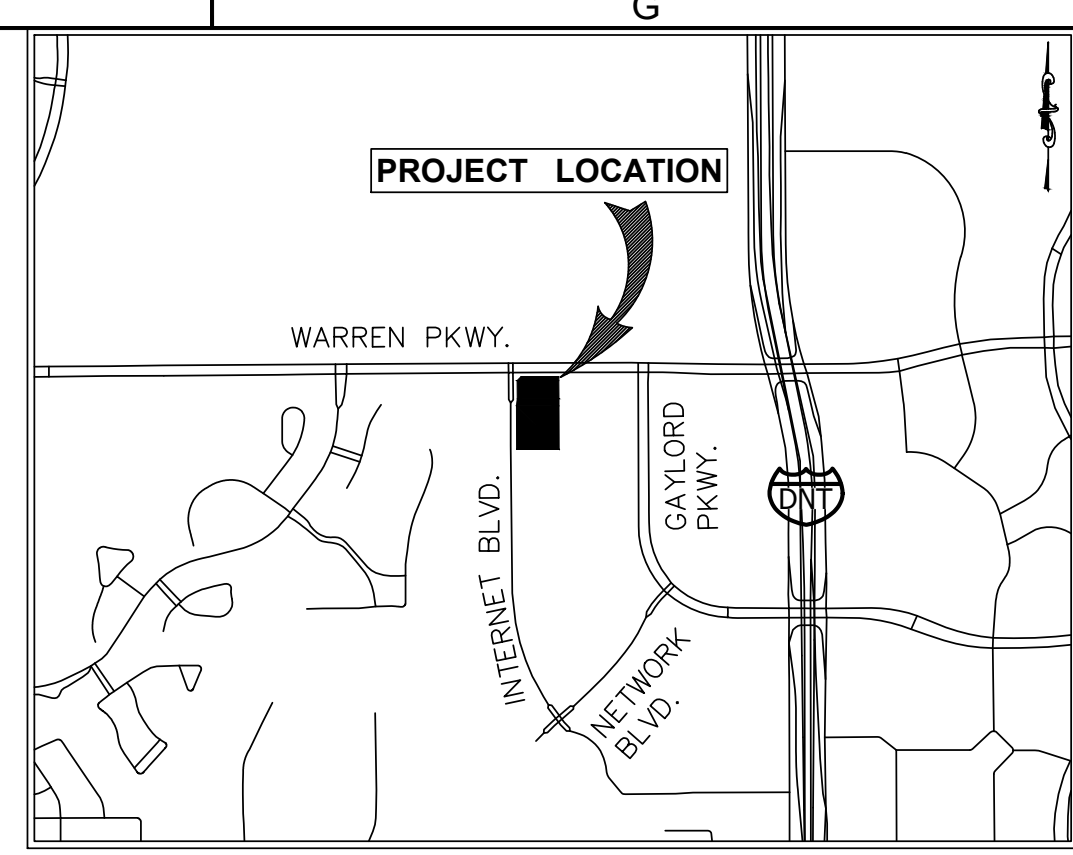
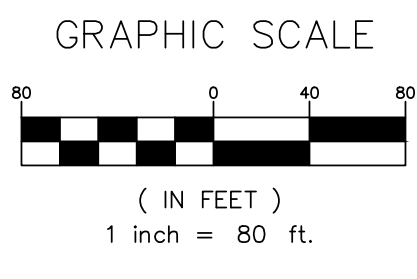
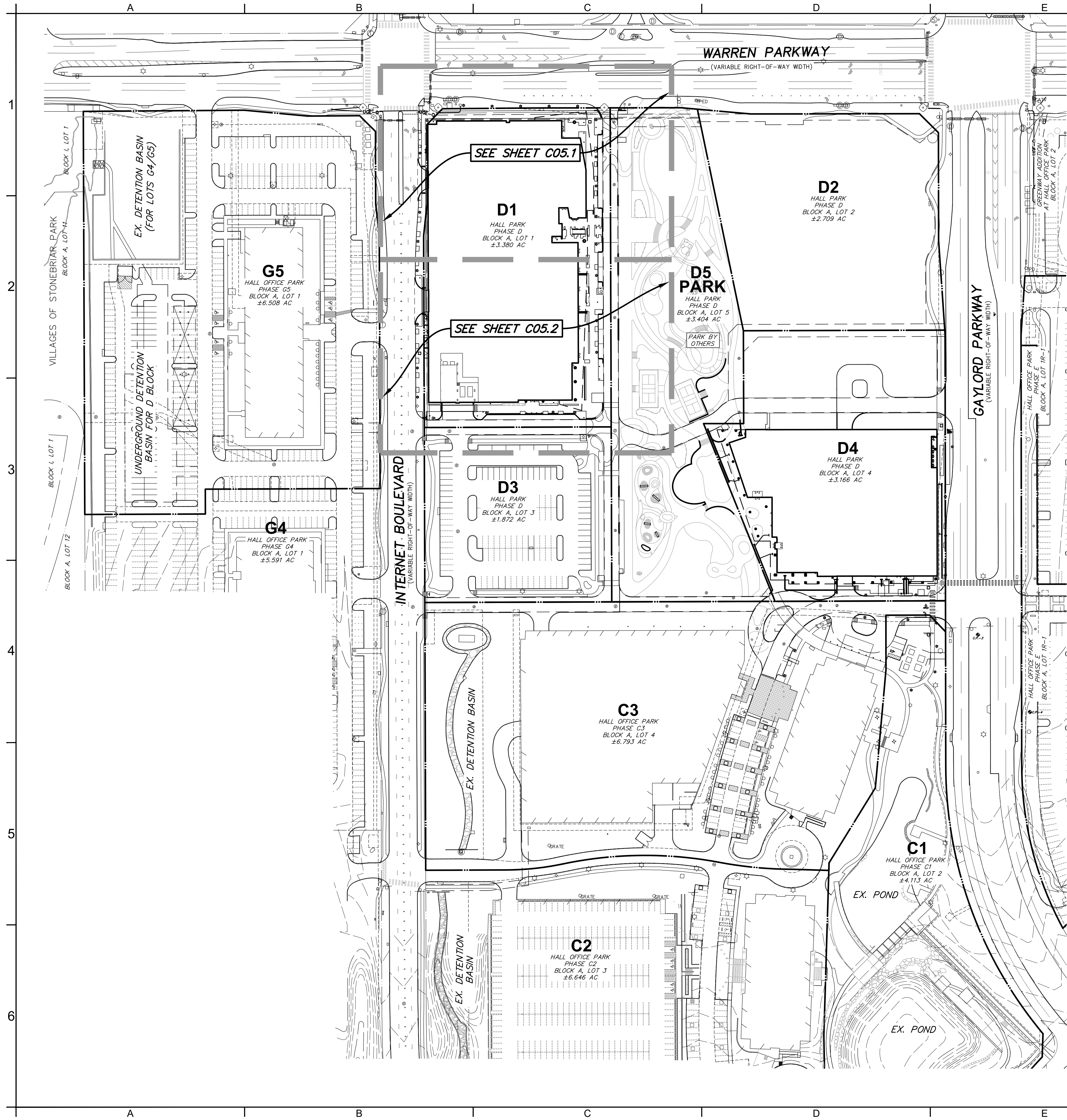
07/16/2021 CD PROGRESS PACKAGE		NO.	DATE	REVISION
www.urbanstructure.com		TEL: 214-295-9775		
		8140 Walnut Hill Lane, Suite 905 Dallas, Texas 75231 Firm Registration #15405		
		N.E. Allen 07/16/2021		
<b>HALL PARK D1</b> 3200 INTERNET BOULEVARD FRISCO, COLLIN COUNTY, TEXAS CD PROGRESS PACKAGE		<b>INF. DEMOLITION PLAN 3</b>		
CLIENT: HALL GROUP	DRAWN BY: DTE	DESIGNER: BTD	REVIEWER: DEB	U.S. PROJECT: 18566
<b>SHEET C04.3</b>				

**FOR REFERENCE ONLY**

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 PLOTTED ON: 7/16/2021 14:37 PM



FILE NAME: D1 SITE & PAVING.DWG  
 DRAWN BY: DTE  
 LAST MODIFIED BY: DEB  
 LAST MODIFIED ON: 07/16/2021 10:27 AM  
 PLOTTED ON: 7/16/2021 1:47 PM

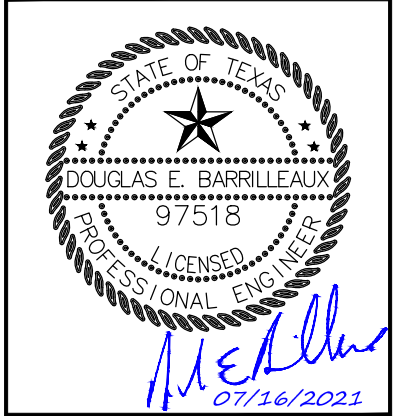


**SITE/PAVING LEGEND**

- — — — — PROPERTY LINE
- - - - - SAWCUT PATH
- TD — — — — — PROP. TRENCH DRAIN (INFRA)
- ⊕ PROP. FIRE HYDRANT
- AD PROP. AREA DRAIN (REF)
- GI PROP. GRATE INLET
- W PROP. WYE INLET (NFI)
- CI PROP. CURB INLET (IN)
- JB PROP. JUNCTION BOX
- SW SIDEWALK
- BFR BARRIER FREE RAMP
- VHC VARIABLE HEIGHT CURB
- (INFRA) TO BE CONSTRUCTED APPROVED INFRASTRUCTURE CONSTRUCTION SET
- ⊙ PR. WATER METER
- ⊙ EX. SSMH
- ⊙ PROP. SSMH (INFRA)
- ⊙ PARKING COUNT
- ⊙ PROP. STOP SIGN (INF)

NO.	DATE	REVISION

TEL: 214-295-5775  
 www.urbanstructure.com  
**URBAN STRUCTURE**  
 8700 Walnut Hill Lane, Suite 905  
 Dallas, Texas 75231  
 FmRegistration#F-5405



**HALL PARK D1**  
 3200 INTERNET BOULEVARD  
 FRISCO, COLLIN COUNTY, TEXAS  
 CD PROGRESS PACKAGE  
**OVERALL PAVING PLAN**

CLIENT: HALL GROUP	PROJECT:
DRAWN BY: DTE	SHEET TITLE:
DESIGNER: BTD	U.S. PROJECT: 18566
REVIEWER: DEB	

SHEET  
**C05.0**

# WARREN PARKWAY

(VARIABLE WIDTH RIGHT-OF-WAY)

## D1

HALL PARK  
PHASE D  
BLOCK A, LOT 1

## D5

PARK

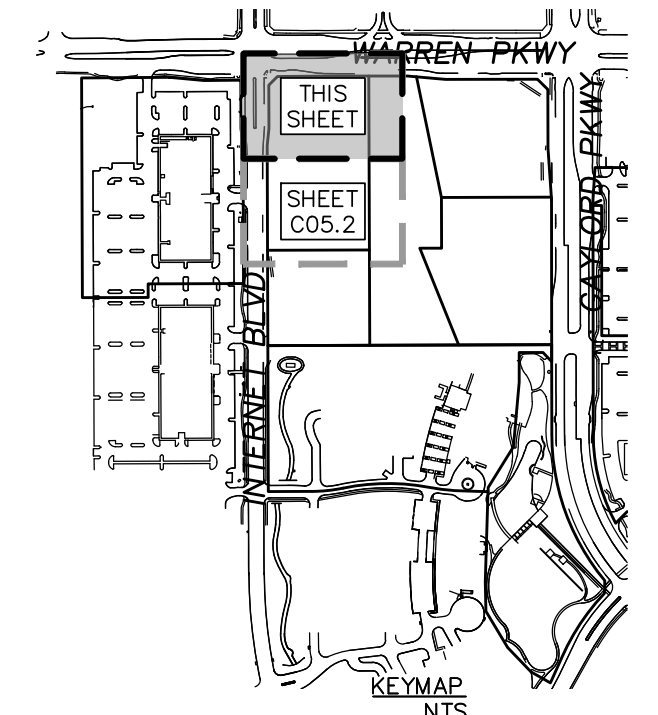
HALL PARK  
PHASE D  
BLOCK A, LOT 5

MATCH LINE SEE SHEET C05.2

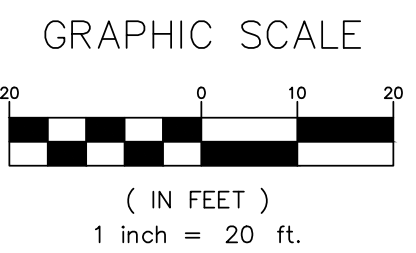
SECTION A-A  
NTS

### SITE/PAVING LEGEND

- — — — — PROPERTY LINE
- - - - - SAWCUT PATH
- TD — — — — — PROP. TRENCH DRAIN (INFRA)
- — — — — LIMITS OF WATER FEATURE
- SIDEWALK (PUBLIC AND PRIVATE SIDEWALK AND HARDSCAPE AREAS) 4" 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF FRISCO STANDARD CONSTRUCTION STANDARD DETAIL P-22.
- LANDSCAPE AREA REF LANDSCAPE PLANS
- PEDESTRIAN RATED PAVERS REF LANDSCAPE PLANS
- PROP. TRAFFIC RATED PAVERS (INFRA)
- TRAFFIC RATED PAVERS REF LANDSCAPE PLANS
- PROP. FIRE LANE, ACCESS, & UTILITY EASEMENT (INFRA)
- HEAVY DUTY PAVING 5" 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED LIME STABILIZED SUBGRADE PER GEOTECH STANDARDS. FULL PANEL REPLACEMENT IN MAIN ROADS WITHIN LIMITS OF WORK.
- LOADING DRIVEWAY 6" 3,600 PSI CONCRETE PAVEMENT WITH #4 BARS @ 24" O.C.E.W. ON 6" COMPACTED LIME STABILIZED SUBGRADE PER GEOTECH STANDARDS.
- LIMITS OF ACCESS & PARKING AGREEMENT BY SEP. INST.
- PROP. FIRE HYDRANT (INFRA)
- PR. AREA DRAIN (REF LANDSCAPE)
- PR. GRATE INLET
- PROP. WYE INLET (INFRA)
- PROP. CURB INLET (INFRA)
- PROP. JUNCTION BOX (INFRA)
- SIDEWALK
- BFR BARRIER FREE RAMP
- VHC VARIABLE HEIGHT CURB (INFRA)
- PR. WATER METER
- EX. SSMH
- PROP. SSMH (INFRA)
- PARKING COUNT
- PROP. STOP SIGN (INFRA)
- PR. LIGHT POLES (REF LAND. ARCH)
- EX. TRAFFIC ARROWS
- DIRECTIONAL ARROWS (FOR CLARIFICATION PURPOSES ONLY. NOT PAINTED)
- TRUNCATED DOME REF LANDSCAPE PLANS
- PROP. TRUNCATED DOME (INFRA)



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bticket@1-call.com



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FRISCO, COLLIN COUNTY, TEXAS  
CD PROGRESS PACKAGE

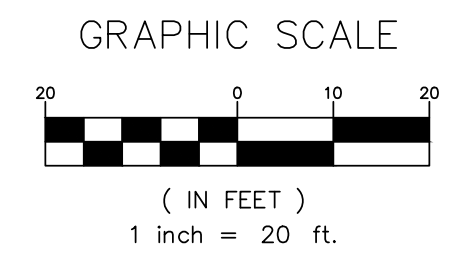
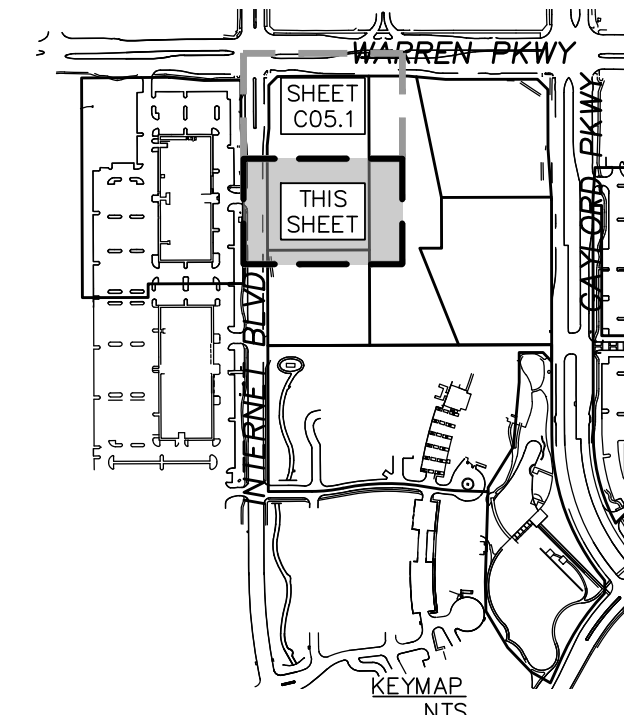
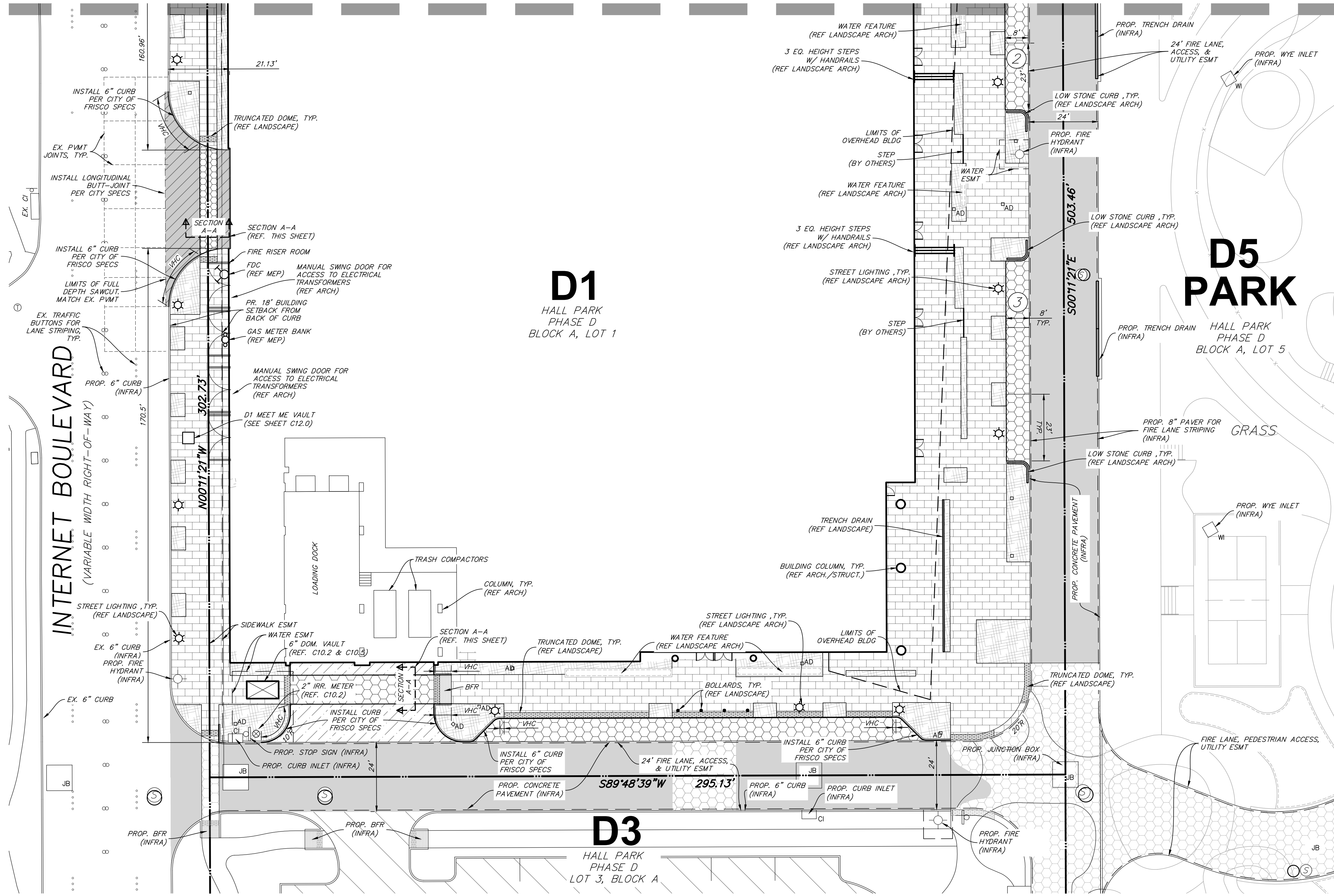
**PAVING PLAN 1**

CLIENT: HALL GROUP
DRAWN BY: DTE
DESIGNER: BTD
REVIEWER: DEB
U.S. PROJECT: 18666

SHEET  
**C05.1**

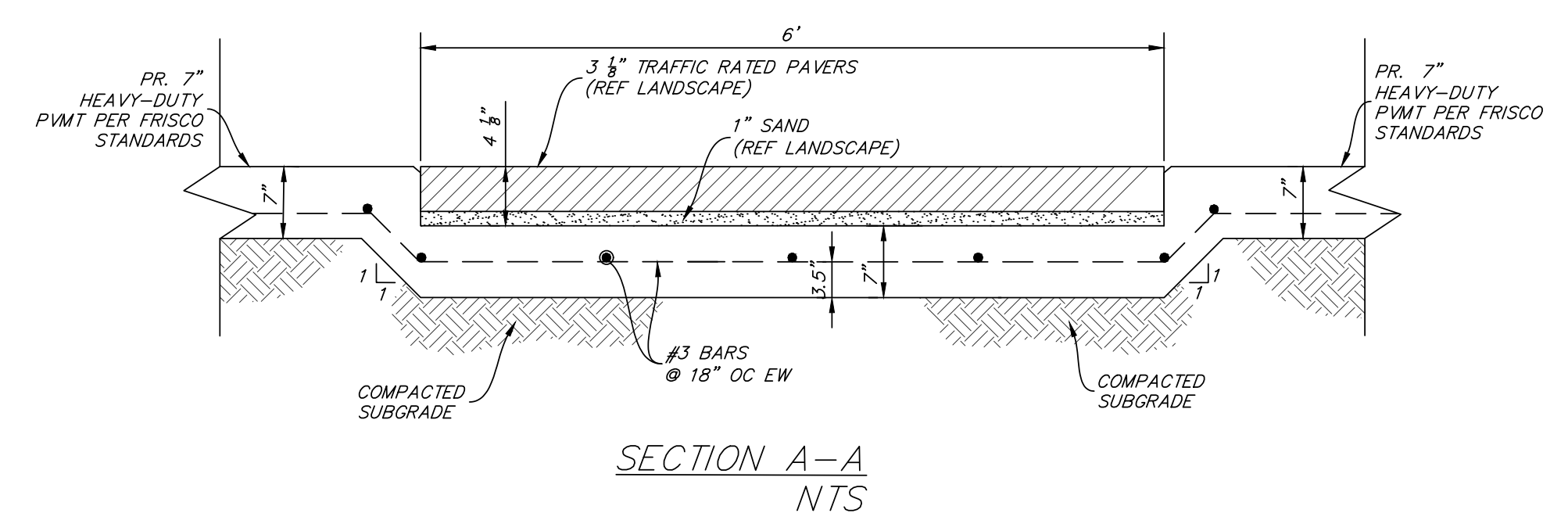
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MATCH LINE SEE SHEET C05.1



### SITE/PAVING LEGEND

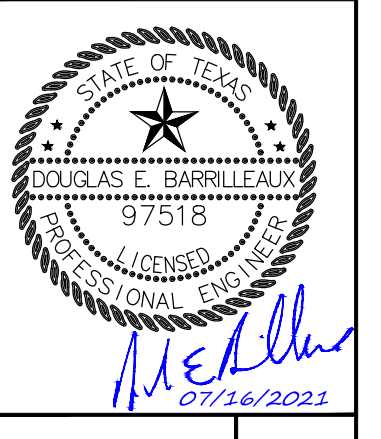
- PROPERTY LINE
- - - SAWCUT PATH
- TD PROP. TRENCH DRAIN (INFRA)
- LIMITS OF WATER FEATURE
- ▨ SIDEWALK (PUBLIC AND PRIVATE SIDEWALK AND HARDSCAPE AREAS) 4" 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF FRISCO STANDARD CONSTRUCTION STANDARD DETAIL P-22.
- ▨ LANDSCAPE AREA REF. LANDSCAPE PLANS
- ▨ PEDESTRIAN RATED PAVERS REF. LANDSCAPE PLANS
- ▨ TRAFFIC RATED PAVERS REF. LANDSCAPE PLANS
- ▨ PROP. FIRE LANE, ACCESS, & UTILITY EASEMENT (INFRA)
- ▨ HEAVY DUTY PAVING 5" 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED LIME STABILIZED SUBGRADE PER GEOTECH STANDARDS. FULL PANEL REPLACEMENT IN MAIN ROADS WITHIN LIMITS OF WORK.
- ▨ LOADING DRIVEWAY 6" 3,600 PSI CONCRETE PAVEMENT WITH #4 BARS @ 24" O.C.E.W. ON 6" COMPACTED LIME STABILIZED SUBGRADE PER GEOTECH STANDARDS.
- ▨ LIMITS OF ACCESS & PARKING AGREEMENT BY SEP. INST.
- PROP. FIRE HYDRANT (INFRA)
- AD PR. AREA DRAIN (REF. LANDSCAPE)
- GI PR. GRATE INLET
- WI PROP. WYE INLET (INFRA)
- CI PROP. CURB INLET (INFRA)
- JB PROP. JUNCTION BOX (INFRA)
- SW SIDEWALK
- BFR BARRIER FREE RAMP
- VHC VARIABLE HEIGHT CURB (INFRA)
- PR. WATER METER
- EX. SSMH
- PROP. SSMH (INFRA)
- PARKING COUNT
- PROP. STOP SIGN (INFRA)
- PR. LIGHT POLES (REF. LAND. ARCH)
- ➔ EX. TRAFFIC ARROWS
- ➔ DIRECTIONAL ARROWS (FOR CLARIFICATION PURPOSES ONLY. NOT PAINTED)
- ▨ TRUNCATED DOME REF. LANDSCAPE PLANS
- ▨ PROP. TRUNCATED DOME (INFRA)



NO.	DATE	REVISION

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CD PROGRESS PACKAGE

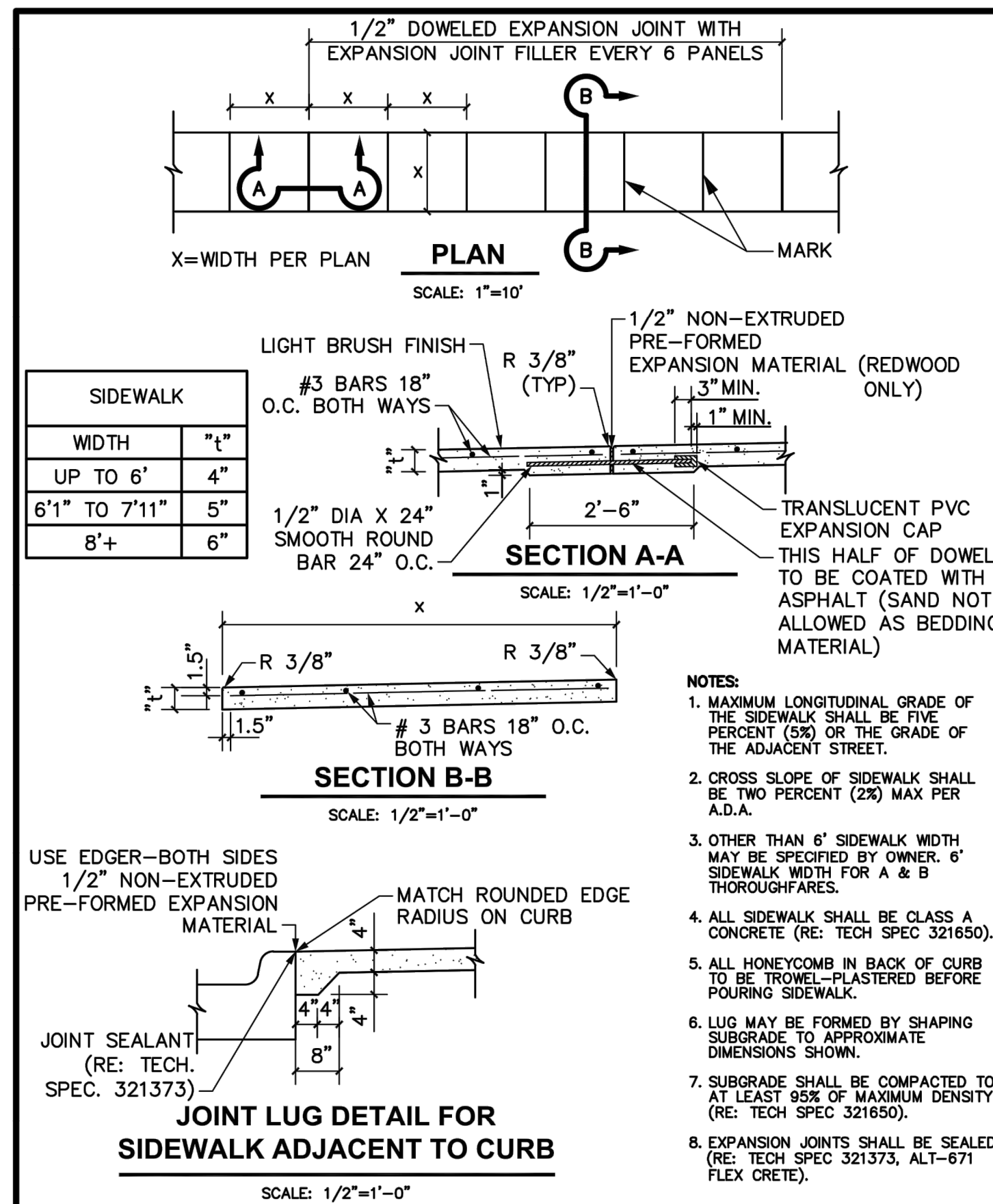
**PAVING PLAN 2**

CLIENT: HALL GROUP	DRAWN BY: DTE
DESIGNER: BTD	REVIEWER: DEB
U.S. PROJECT: 18566	

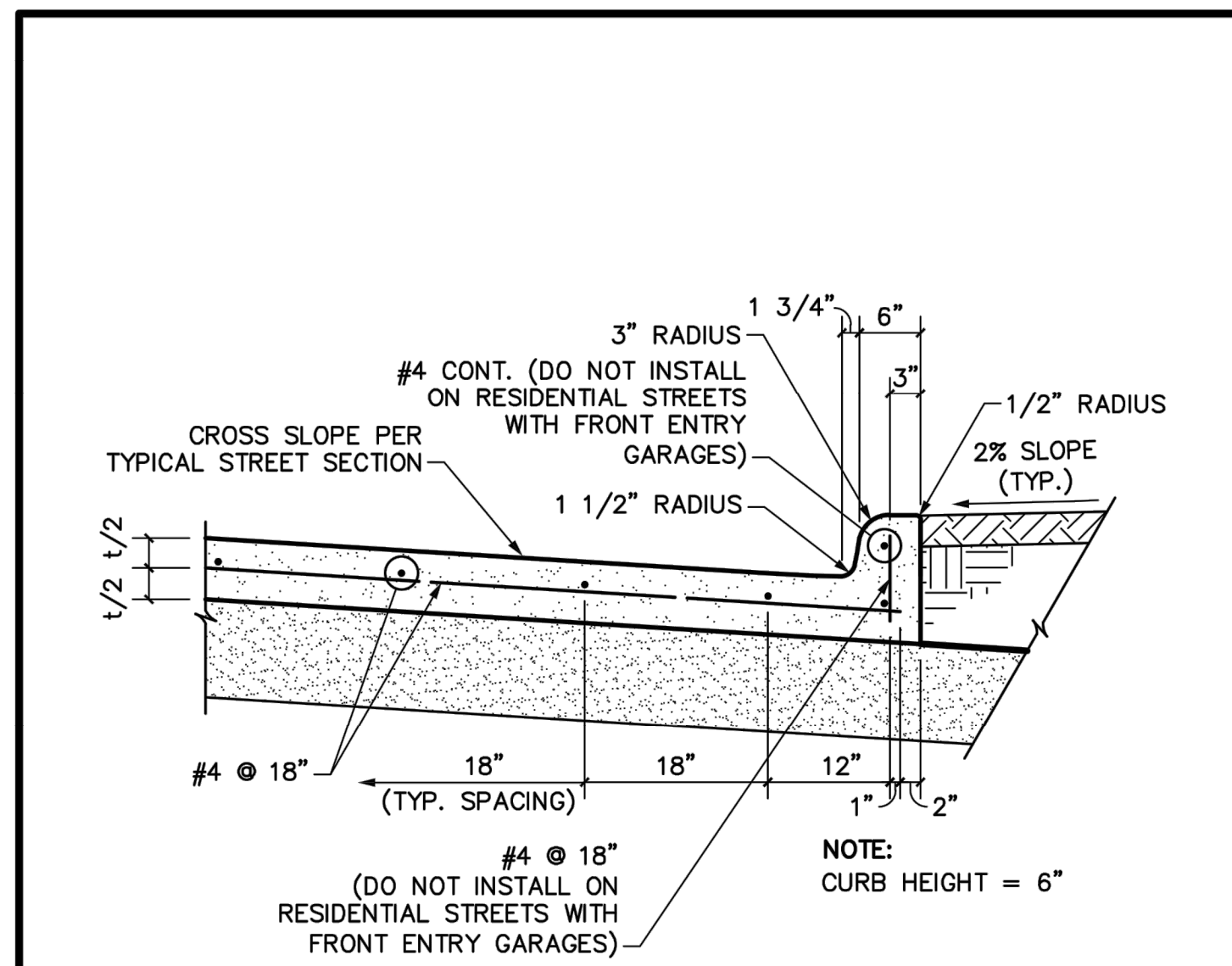
SHEET  
**C05.2**

NOTE: ALL RADI ARE 3' UNLESS STATED OTHERWISE

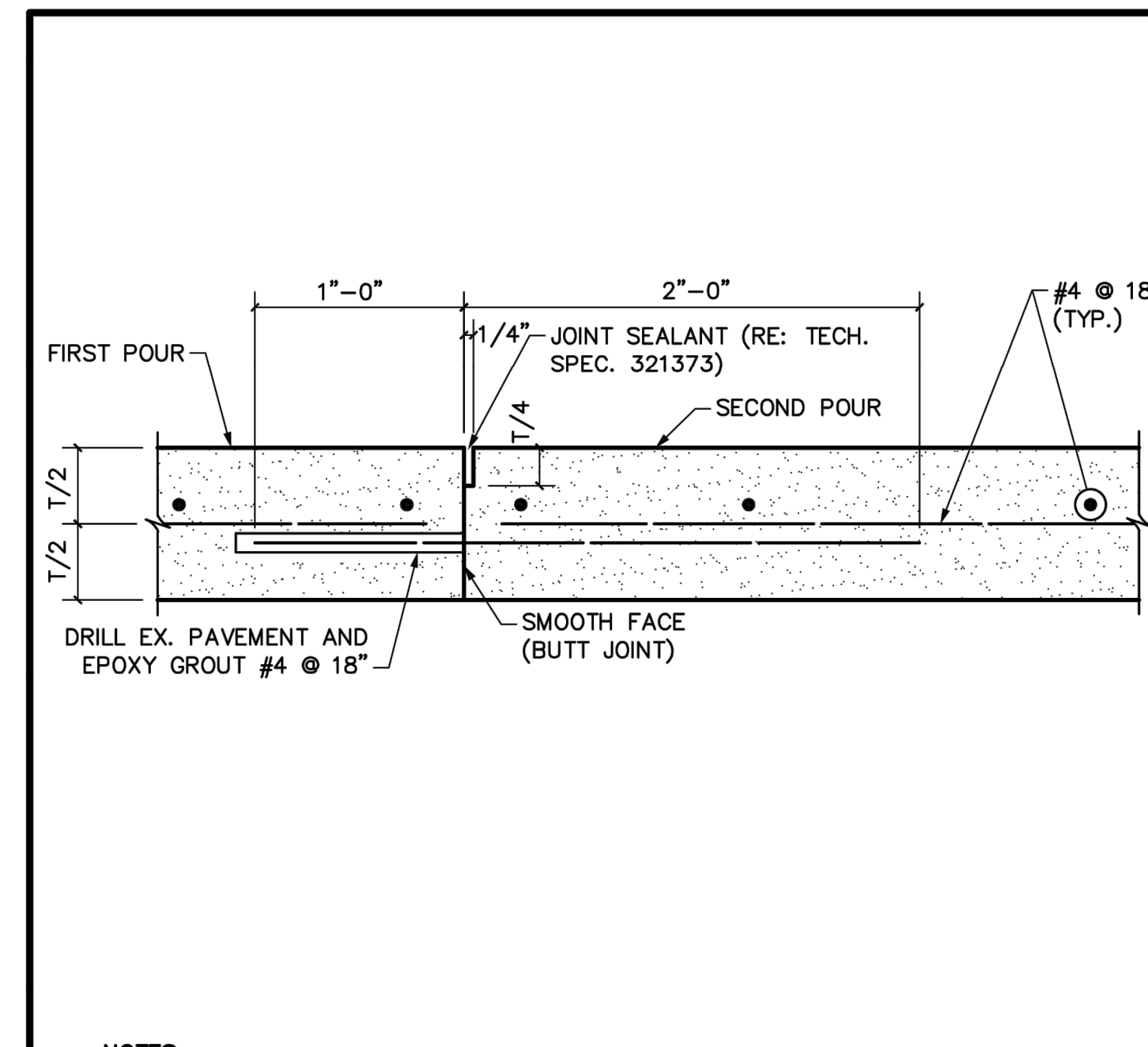
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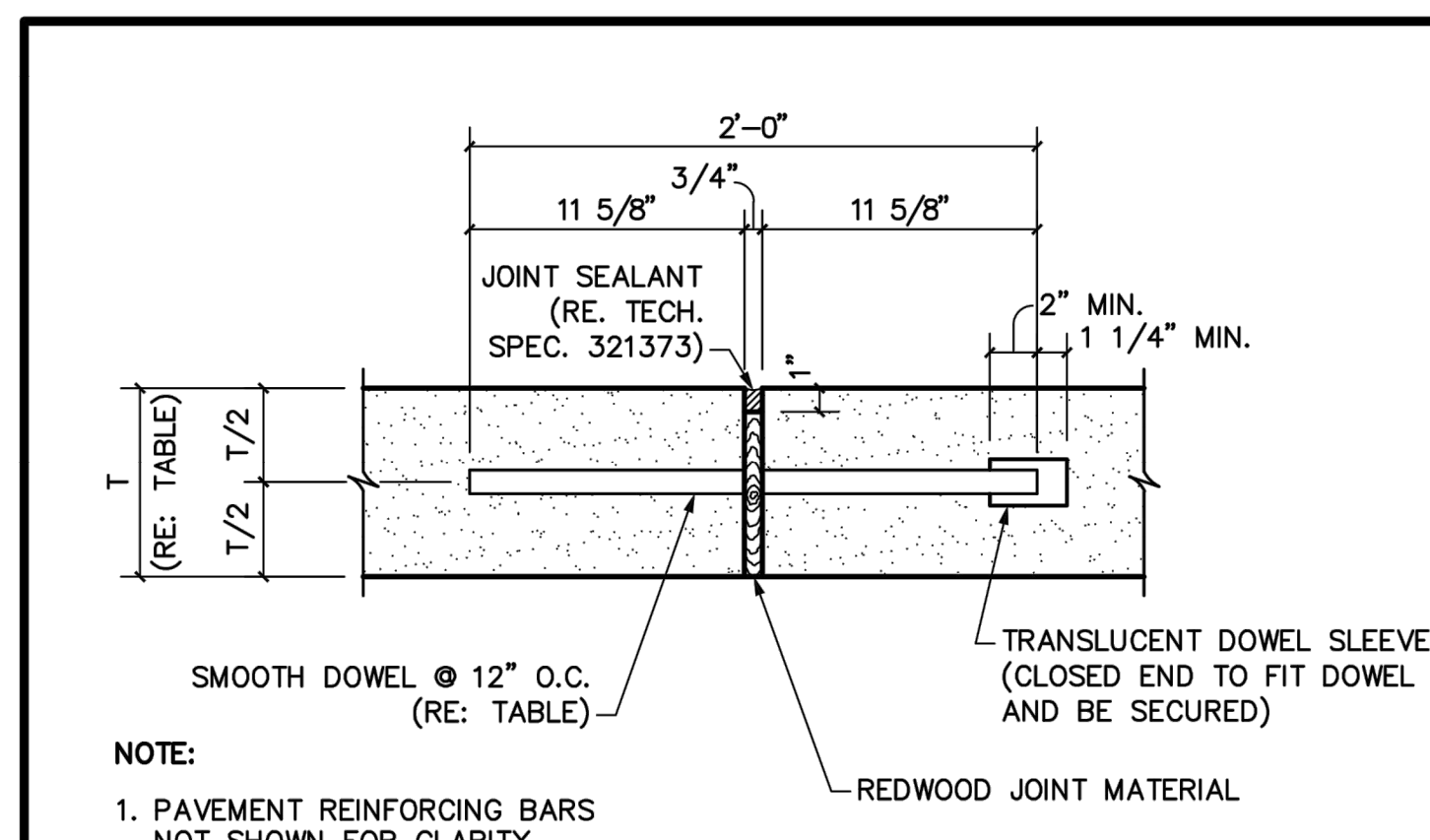
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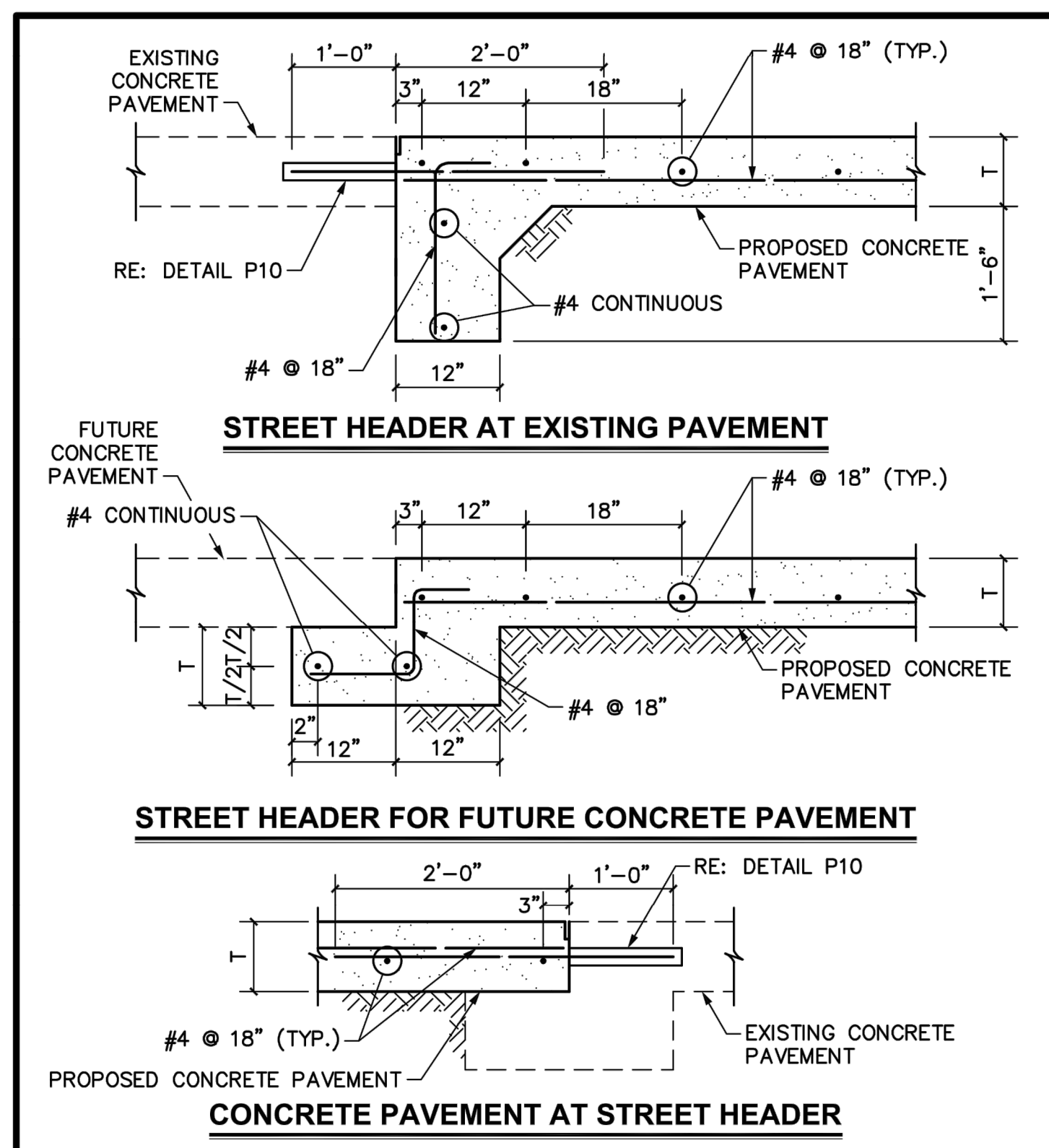
**FRISCO** STANDARD CONSTRUCTION DETAIL TYPICAL PAVEMENT REINFORCEMENT AND CONCRETE CURB SCALE: 3/4"=1'-0" REVISED: AUG 2020 P03



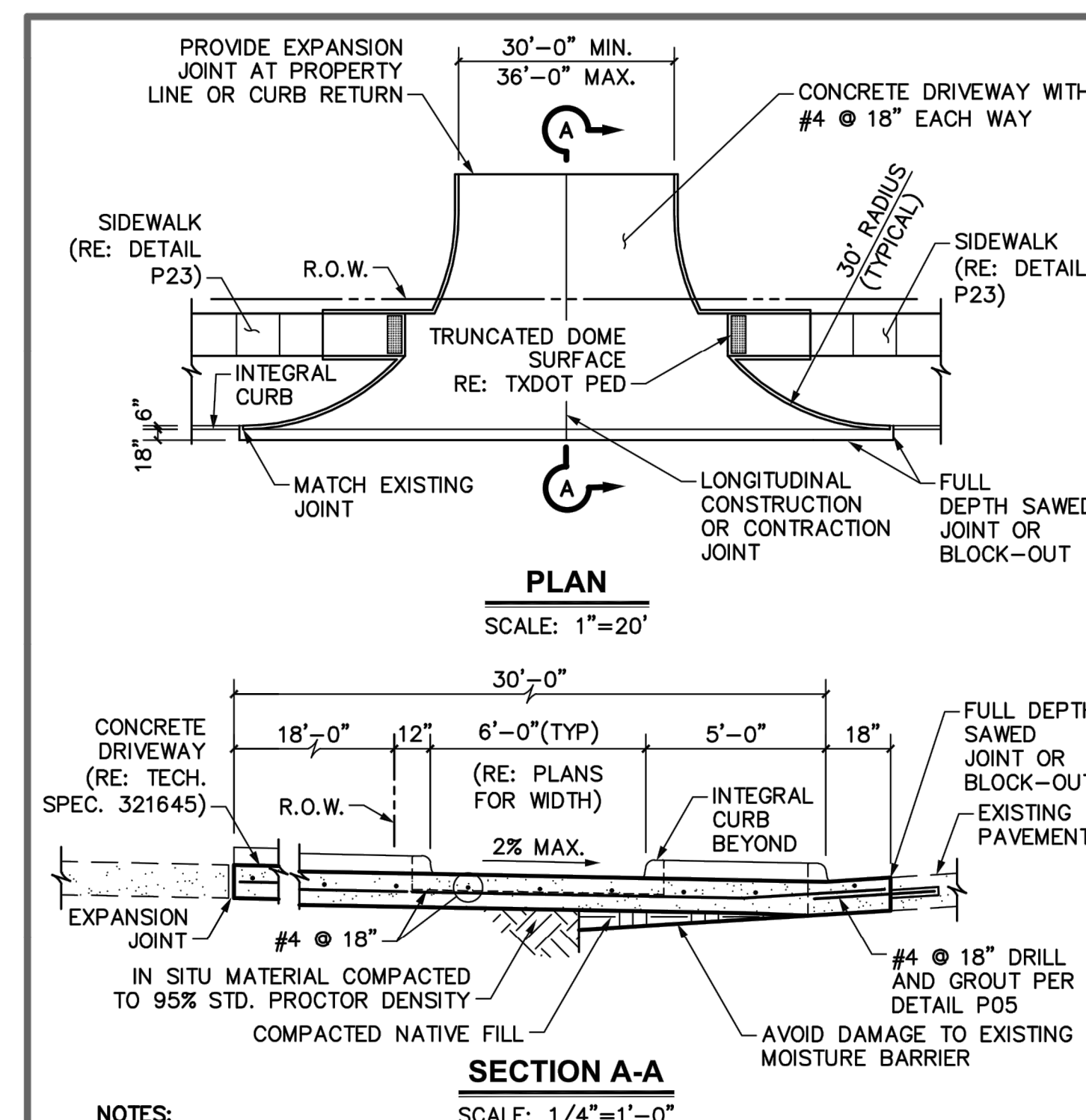
**FRISCO** STANDARD CONSTRUCTION DETAIL CONCRETE PAVEMENT CONSTRUCTION JOINT SCALE: 1 1/2"=1'-0" REVISED: AUG 2020 P10



**FRISCO** STANDARD CONSTRUCTION DETAIL CONCRETE PAVEMENT EXPANSION JOINT SCALE: 1 1/2"=1'-0" REVISED: AUG 2020 P11

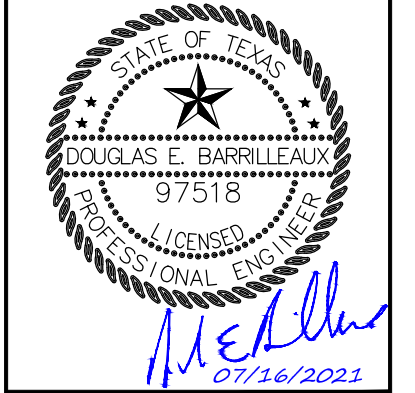


**FRISCO** STANDARD CONSTRUCTION DETAIL CONCRETE STREET HEADERS SCALE: 3/4"=1'-0" REVISED: AUG 2020 P12



**FRISCO** STANDARD CONSTRUCTION DETAIL COMMERCIAL DRIVEWAY APPROACH SCALE: AS MARKED REVISED: AUG 2020 P17

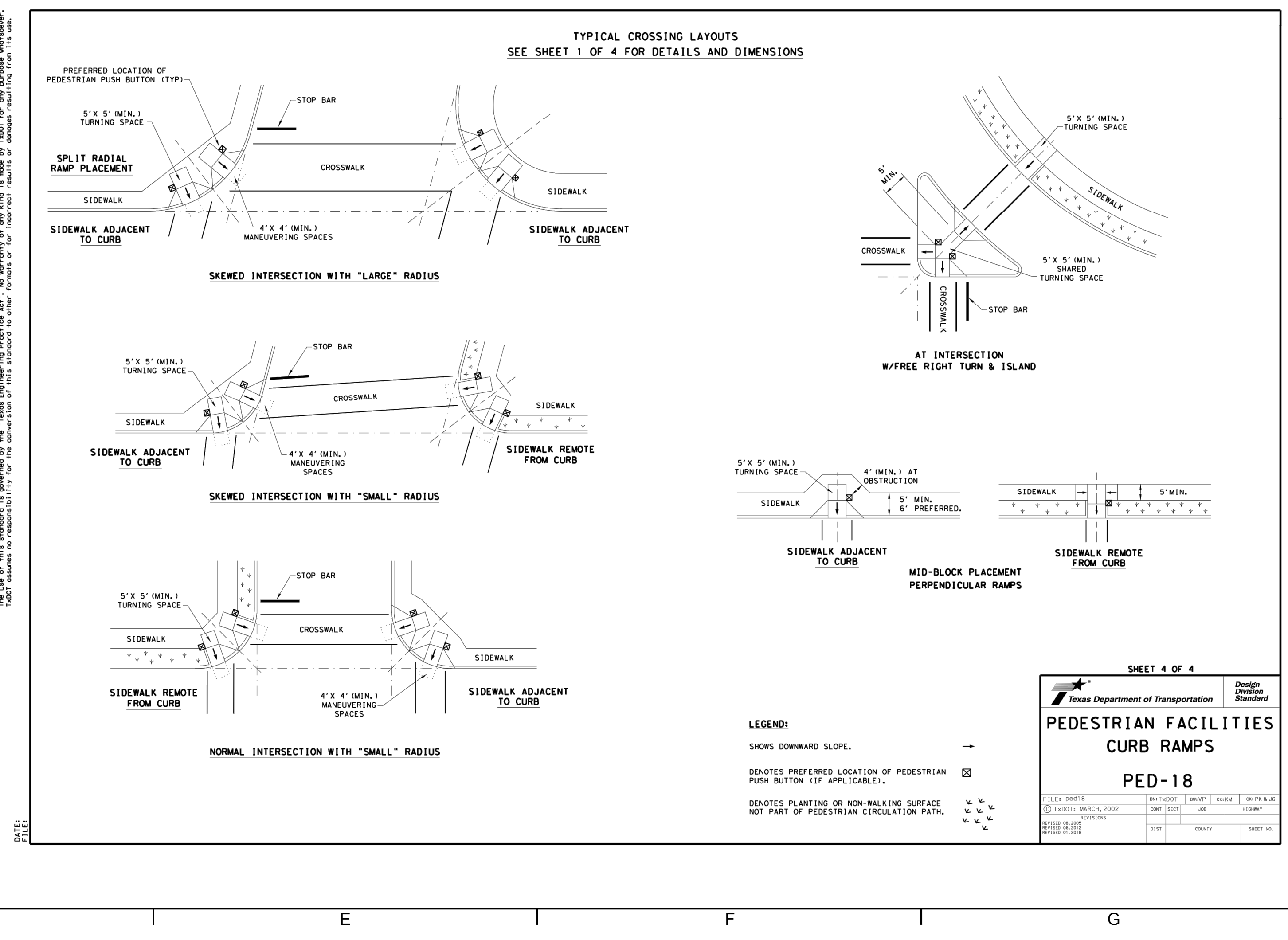
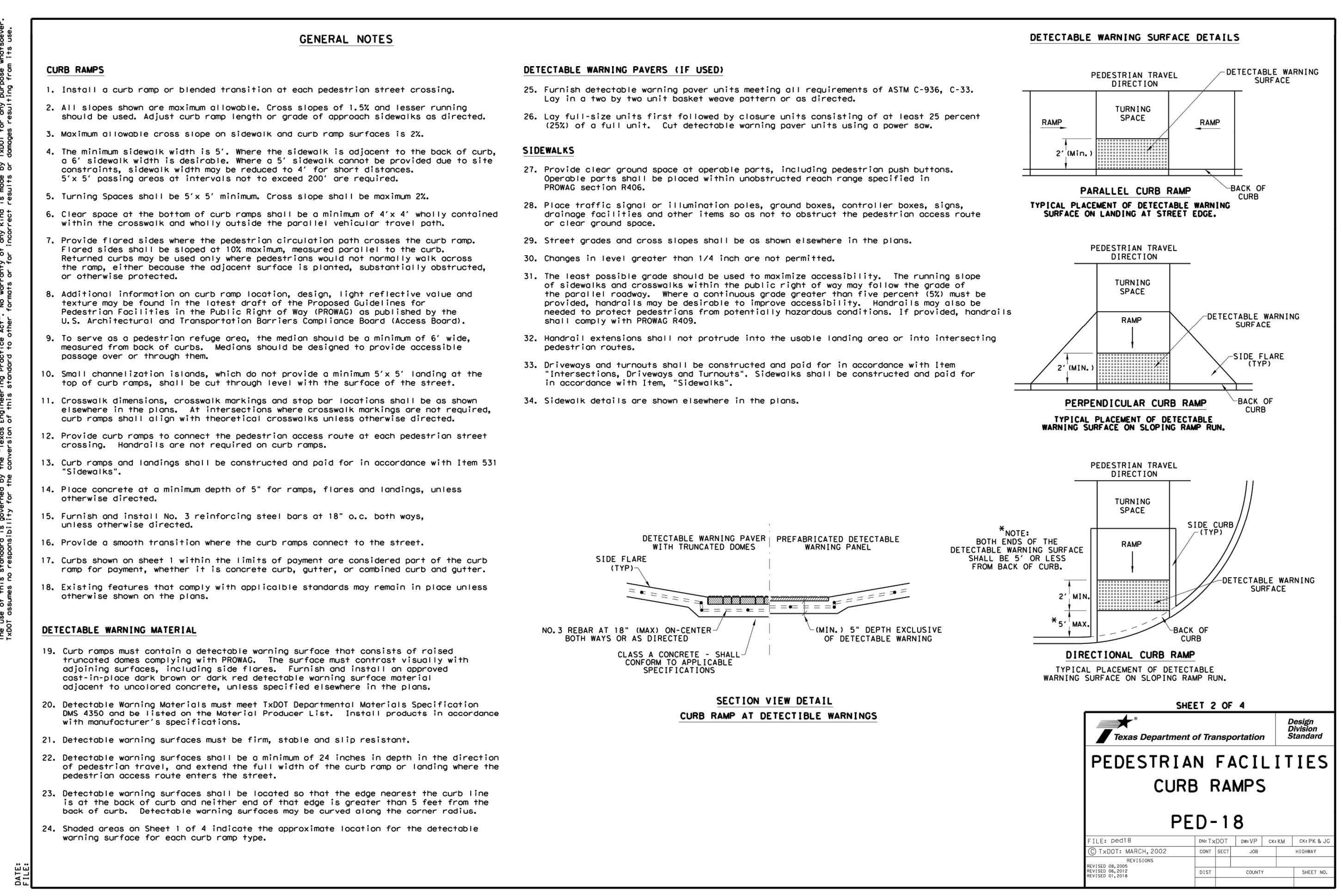
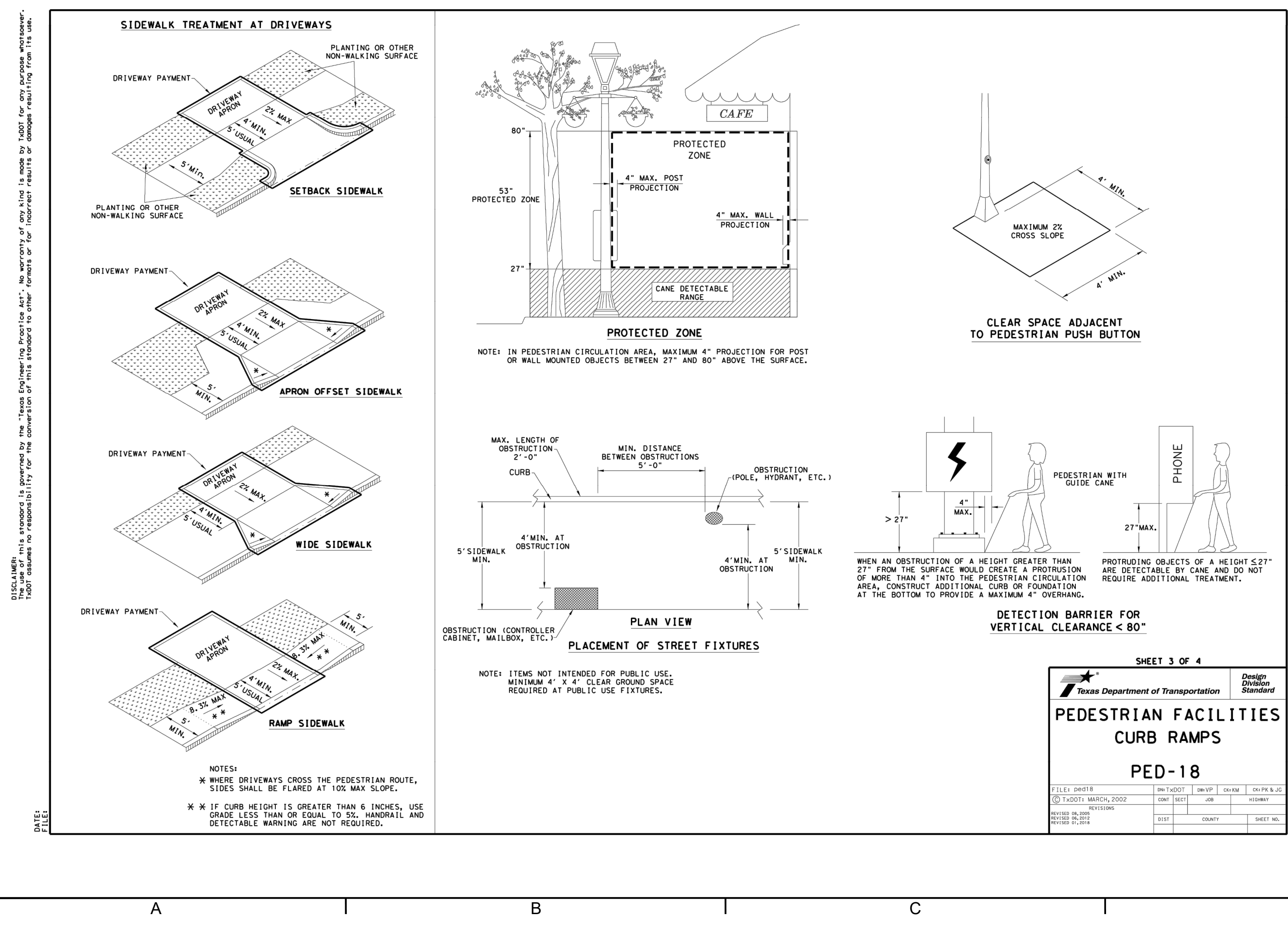
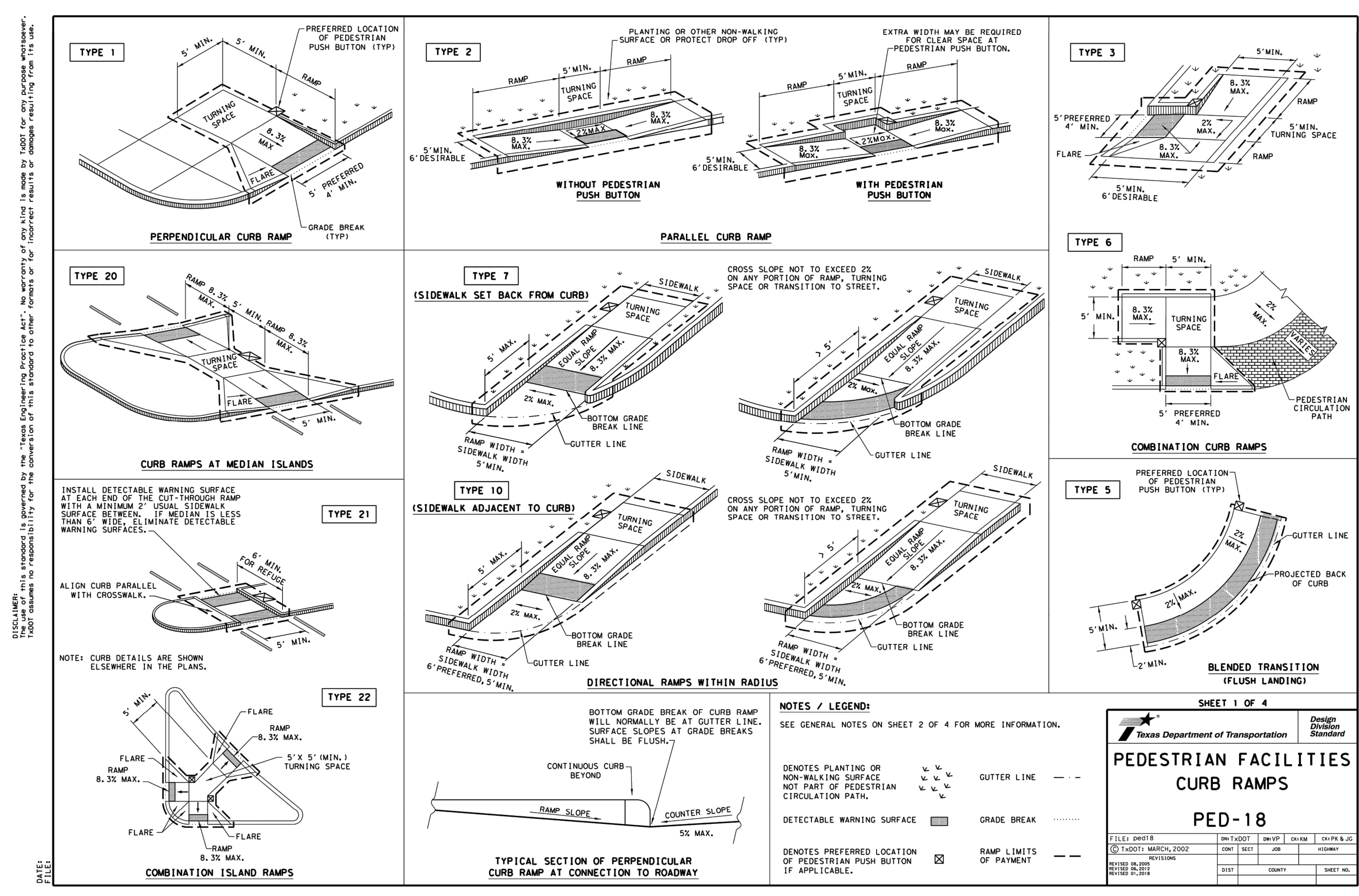
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Dallas, Texas 75231  
frisco@urbanstructure.com



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3200 INTERNET BOULEVARD  
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CLIENT: HALL GROUP  
DRAWN BY: DTE  
DESIGNER: BTD  
REVIEWER: DEB  
U.S. PROJECT: 18566

FILE NAME: D1 SITE & PAVING DETAILS.DWG  
DATE: 07/16/2022 10:11 AM  
LAST MODIFIED BY: DEB  
PLOT FILED ON: 7/16/2022 10:11 AM



DATE: FILE: 07/16/2002

1

2

3

4

5

6

DATE: FILE: 07/16/2002

REVISION

NO.

DATE

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STATE OF TEXAS  
DOUGLAS E. BARRILLEAUX  
97518  
LICENSED PROFESSIONAL ENGINEER

07/16/2002

PROJECT: HALL PARK D1  
3200 INTERNET BOULEVARD  
FRISCO, COLLIN COUNTY, TEXAS  
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SHEET TITLE: TXDOT PAVING DETAILS

CLIENT: HALL GROUP

DRAWN BY: DTE

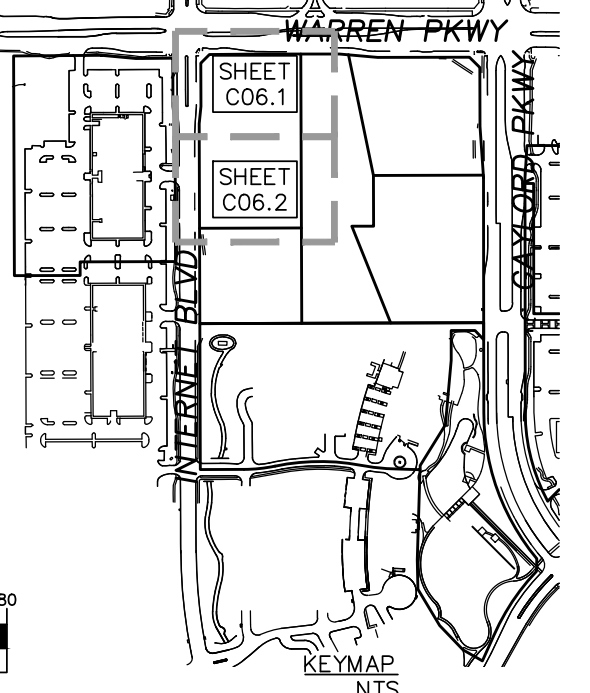
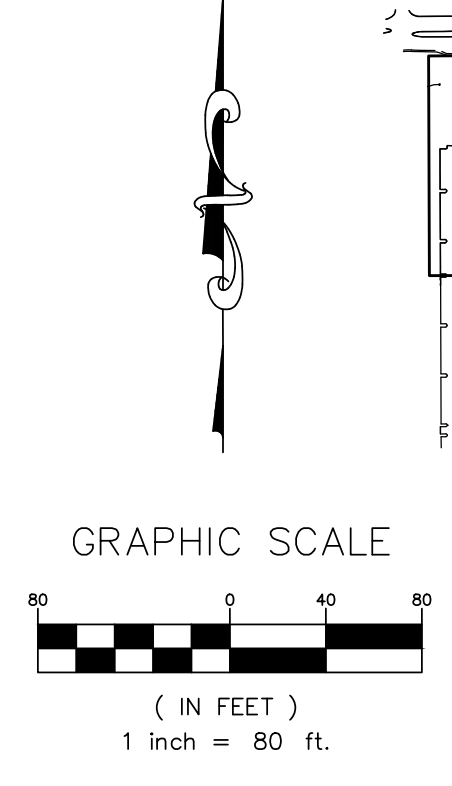
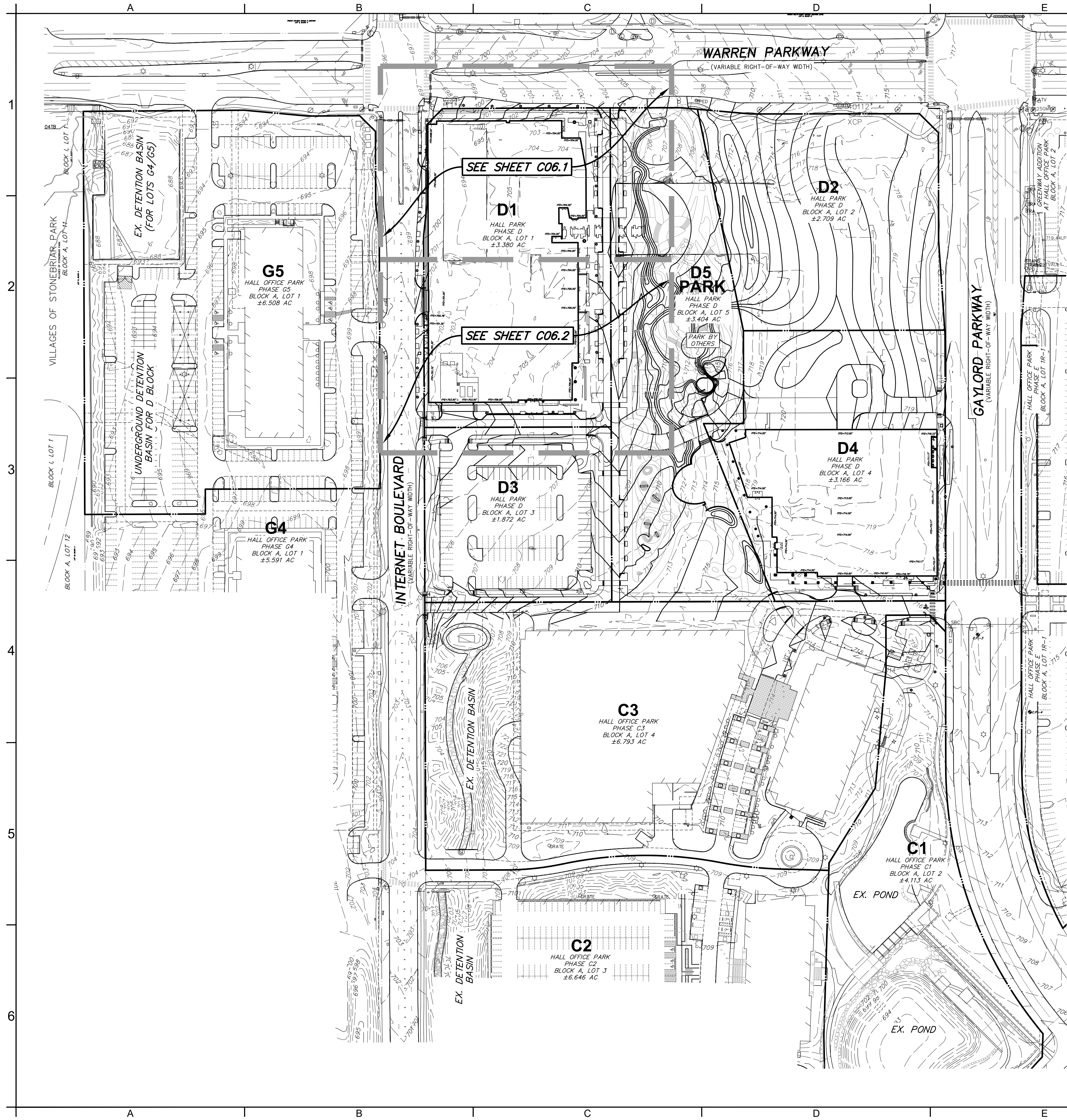
DESIGNER: BTD

REVIEWER: DEB

U.S. PROJECT: 18566

SHEET C05.4

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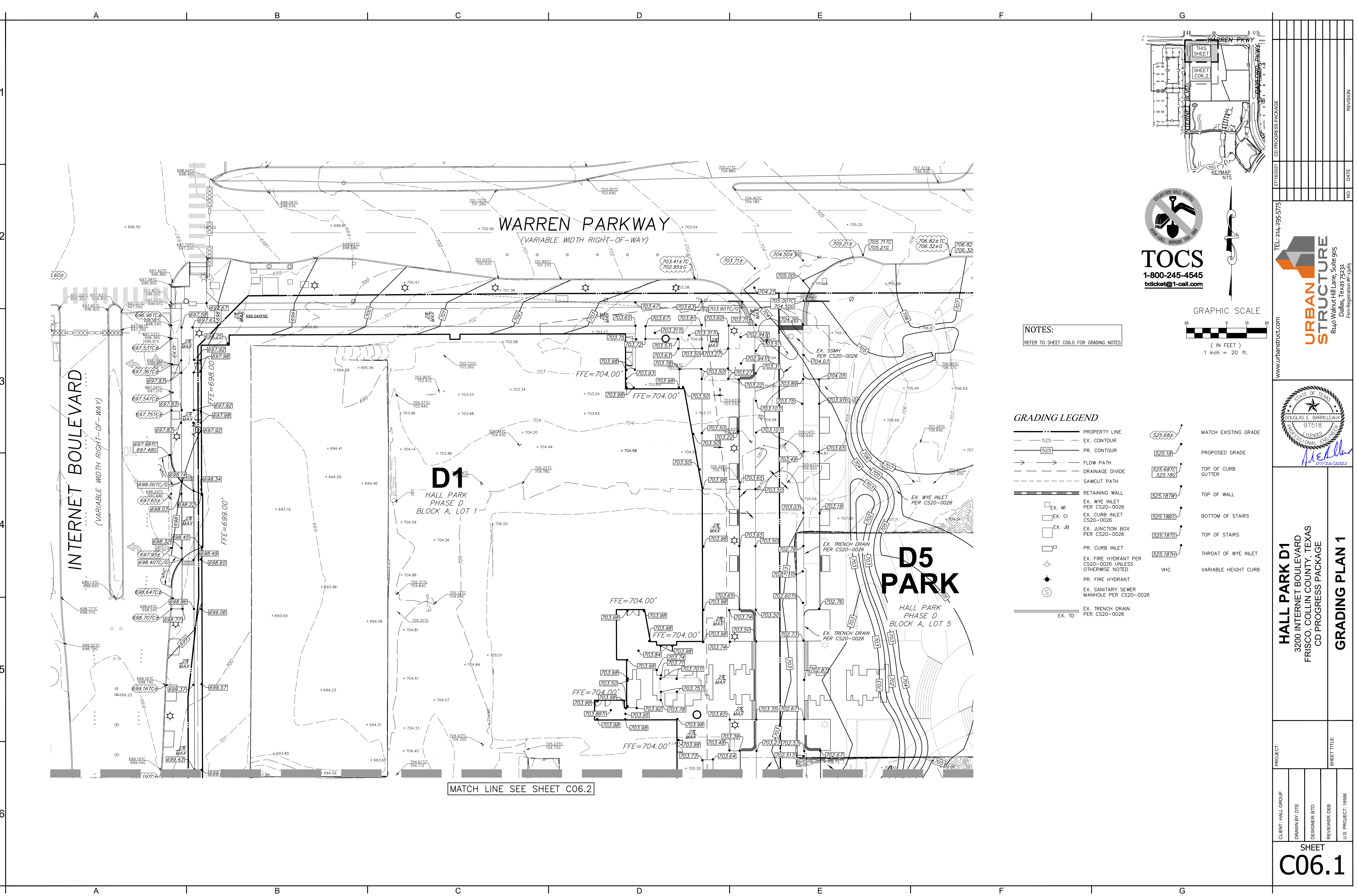
**GRADING NOTES:**

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF FRISCO STANDARDS AND SPECIFICATIONS, AND TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS PREPARED BY THE NORTH TEXAS COUNCIL OF GOVERNMENTS, LATEST EDITION AND THE CITY OF FRISCO ADDENDUM THERETO.
- THE GEOTECHNICAL REPORT NO. 203476 BY HENLEY-JOHNSTON & Associates, Inc. IS CONSIDERED A PART OF THIS DOCUMENT. THE CONTRACTOR MUST REVIEW IT FOR CONSTRUCTION REQUIREMENTS. IF DIFFERENCES ARE NOTED BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, THE REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT WILL GOVERN. THE CONTRACTOR MUST CONTACT THE OWNER, CIVIL ENGINEER, AND GEOTECHNICAL FIRM AND INFORM THEM OF ALL DISCREPANCIES AND PLAN MODIFICATIONS.
- AREAS AROUND THE PERIMETER OF THE BUILDING SHALL BE GRADED AT A (SLOPE) FOR (DISTANCE) TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION.
- THE CONTRACTOR MUST REFER TO THE GEOTECHNICAL REPORT, FOUNDATION PLANS, AND LANDSCAPE PLANS FOR 1) ALL BACKFILL AND COMPACTION REQUIREMENTS, 2) FOUNDATION WATER PROOFING AND 3) UNDERDRAINS AND LANDSCAPE DRAINS AROUND THE PERIMETER OF THE BUILDING.
- GRADES SHOWN ON THE PLANS AROUND THE PERIMETER OF THE BUILDING ARE FINISHED GRADES AND ARE INCLUSIVE OF BEDDING MATERIAL FOR PROPOSED LANDSCAPE BEDS, TOPSOIL AND SOD FOR LAWN AREAS, AND PAVEMENT.
- SHOULD THE CONTRACTOR ENCOUNTER ANY UNUSUAL GEOLOGICAL CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, HE MUST NOTIFY THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS.
- ALL AREAS TO RECEIVE PAVING SHALL BE STRIPPED TO EFFECTIVELY REMOVE ALL VEGETATION, TOP SOIL, AND DEBRIS, IF PRESENT. DEBRIS SHALL BE DISPOSED OF LEGALLY OFFSITE. TOPSOIL SHALL BE STOCKPILED FOR LANDSCAPING PURPOSES.
- THE CONTRACTOR SHALL ESTABLISH INTERIOR DRAINAGE SWALES TO REMOVE RAINFALL FROM THE SITE. WATER MUST NOT BE ALLOWED TO POND IN TREE GRUB HOLES. THE SITE SHOULD BE GRADED SUCH THAT POSITIVE SURFACE DRAINAGE AWAY FROM THE WORK AREAS IS ESTABLISHED AND MAINTAINED AT ALL TIMES. WATER MUST NOT BE ALLOWED TO POND ON THE SURFACE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED BY THE CITY OF FRISCO THROUGHOUT THE CONSTRUCTION OF THE PROJECT. FILTER FABRIC FENCES WILL BE PLACED AT THE TOP AND TOE OF SLOPES, IN THE FLOW LINE OF DITCHES AND ALONG THE PERIMETER OF THE PROJECT. EROSION CONTROLS MUST REMAIN UNTIL LANDSCAPING IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- ALL AREAS THAT WILL RECEIVE FILL SHALL BE PROOF-ROLLED TO IDENTIFY WEAK ZONES. ALL WEAK ZONES MUST BE REMOVED AND REPLACED PRIOR TO FILL PLACEMENT. THE ENTIRE AREA TO RECEIVE FILL SHALL THEN BE SCARIFIED AND RE-COMPACTED AS SPECIFIED IN THE GEOTECHNICAL REPORT.
- LIMESTONE OR OTHER ROCK-LIKE MATERIALS USED AS FILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY. NO INDIVIDUAL ROCK PIECES LARGER THAN 4 INCHES IN DIAMETER SHOULD BE USED AS FILL. ADDITIONALLY, NO ROCK FILL SHOULD BE USED WITHIN 1 FT BELOW THE BOTTOM OF FLOOR OR PAVEMENT SLABS.
- FILL MATERIALS SHOULD BE PLACED IN LOOSE LIFTS, 8 INCHES THICK, AND EACH LIFT COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DEFINED IN ASTM D 698 AT 95 PERCENT OF OPTIMUM MOISTURE CONTENT. EACH LIFT SHOULD BE INSPECTED AND APPROVED BY A QUALIFIED ENGINEERING TECHNICIAN, SUPERVISED BY A GEOTECHNICAL ENGINEER BEFORE ANOTHER LIFT IS ADDED.
- TESTING IS REQUIRED, AND SHALL BE PERFORMED BY A LABORATORY APPROVED BY THE ENGINEER/OWNER AND PAID FOR BY THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROTECT ALL PUBLIC UTILITIES, IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING.
- THE CONTRACTOR MUST MEET THE REQUIREMENTS OF THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT NO. TXR 150000, ISSUED ON FEBRUARY 15, 2008. IF THE PROJECT WILL DISTURB MORE THAN 1.0 ACRES OF LAND, THE CONTRACTOR MUST PREPARE OR HAVE PREPARED A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ADHERE TO THE REQUIREMENTS OF THE PLAN.
- ALL WALLS, INCLUDING FOOTINGS, SHOULD BE LOCATED ENTIRELY WITHIN PRIVATE PROPERTY.
- RETAINING WALLS HIGHER THAN 4 FT MUST BE SUBMITTED SEPARATELY TO BUILDING FOR PERMIT AND CANNOT SUPPORT R.O.W. AT 1:1.

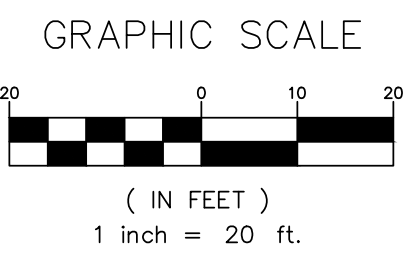
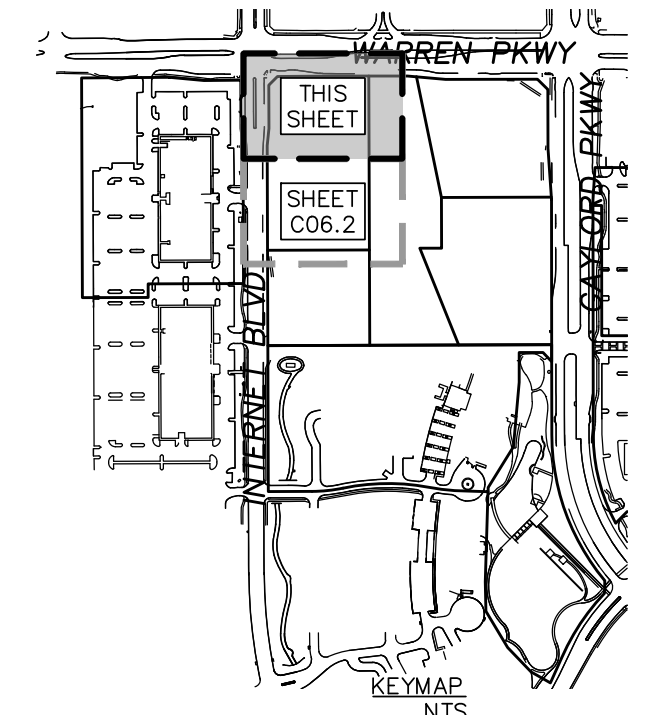
**GRADING LEGEND**

---	PROPERTY LINE
---	EX. CONTOUR
---	PR. CONTOUR
---	FLOW PATH
---	DRAINAGE DWIDE
---	SAWCUT PATH
---	RETAINING WALL
□ EX. WI	EX. WYE INLET PER CS20-0026
□ EX. CI	EX. CURB INLET CS20-0026
□ EX. JB	EX. JUNCTION BOX PER CS20-0026
□ CI	PR. CURB INLET
○	EX. FIRE HYDRANT PER CS20-0026 UNLESS OTHERWISE NOTED
●	PR. FIRE HYDRANT
○ S	EX. SANITARY SEWER MANHOLE PER CS20-0026
---	EX. TRENCH DRAIN PER CS20-0026

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<b>HALL PARK D1</b> 3200 INTERNET BOULEVARD FRISCO, COLLIN COUNTY, TEXAS CD PROGRESS PACKAGE		<b>OVERALL GRADING PLAN</b>
CLIENT: HALL GROUP	DRAWN BY: DTE	DESIGNER: BTJ
REVIEWER: DEB	U.S. PROJECT: 186569	
SHEET TITLE:		
SHEET <b>C06.0</b>		



MATCH LINE SEE SHEET C06.2



**NOTES:**  
 REFER TO SHEET C06.0 FOR GRADING NOTES

GRADING LEGEND	
---	PROPERTY LINE
- - -	EX. CONTOUR
---	PR. CONTOUR
→	FLOW PATH
- - -	DRAINAGE DIVIDE
- - -	SAWCUT PATH
---	RETAINING WALL
□	EX. WI EX. CI EX. JB PR. CURB INLET EX. FIRE HYDRANT PER CS20-0026 UNLESS OTHERWISE NOTED PR. FIRE HYDRANT EX. SANITARY SEWER MANHOLE PER CS20-0026 EX. TRENCH DRAIN PER CS20-0026
525.68±	MATCH EXISTING GRADE
525.78	PROPOSED GRADE
525.68TC 525.18G	TOP OF CURB GUTTER
525.18TW	TOP OF WALL
525.18BS	BOTTOM OF STAIRS
525.18TS	TOP OF STAIRS
525.18TW	THROAT OF WYE INLET
VHC	VARIABLE HEIGHT CURB



**HALL PARK D1**  
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**GRADING PLAN 1**

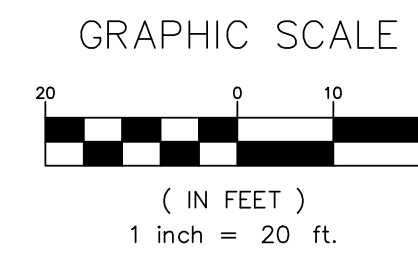
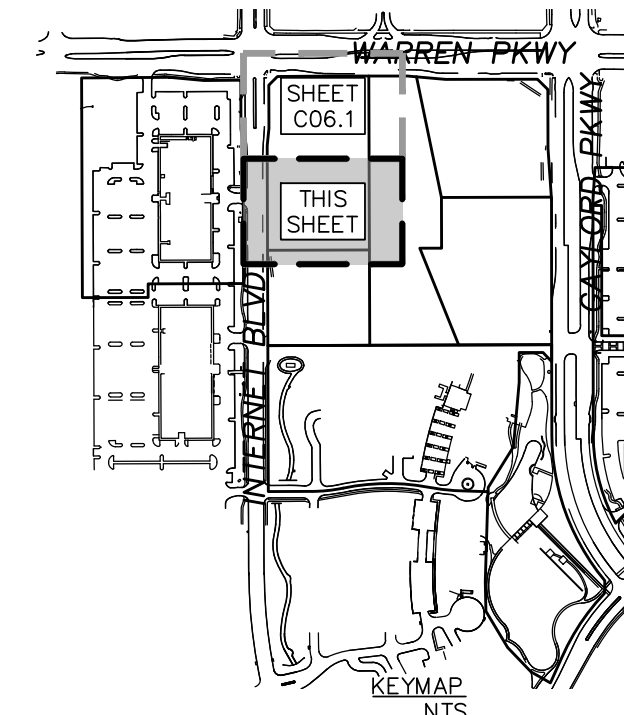
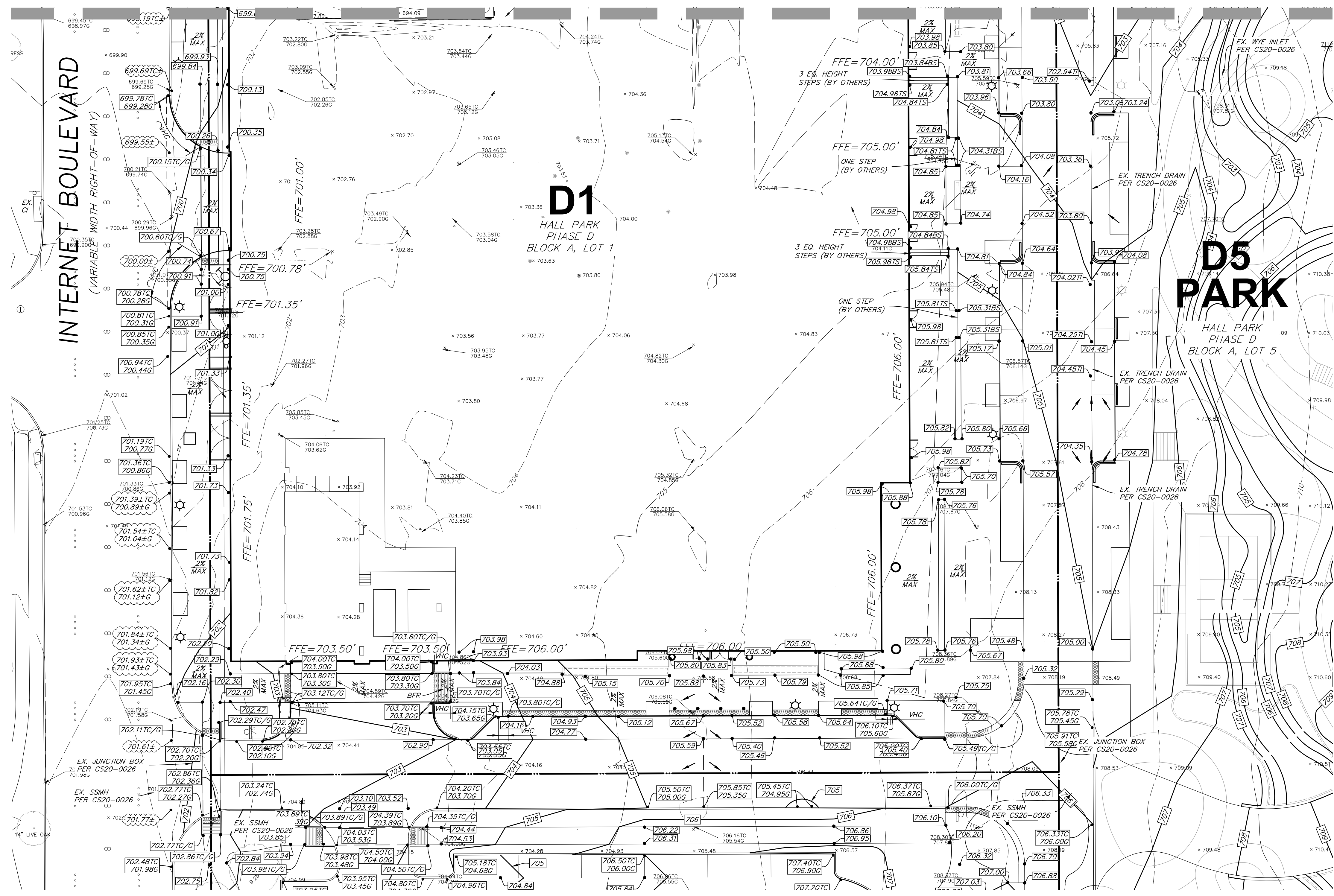
CLIENT: HALL GROUP
DRAWN BY: DTE
DESIGNER: BTD
REVIEWER: DEB
U.S. PROJECT: 18566

**SHEET**  
**C06.1**

NO.	DATE	REVISION

FILE NAME: D1 GRADING.DWG  
 LAST MODIFIED ON: 02/27/2025 5:59 PM  
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MATCH LINE SEE SHEET C06.1



NOTES:  
REFER TO SHEET C06.0 FOR GRADING NOTATIONS

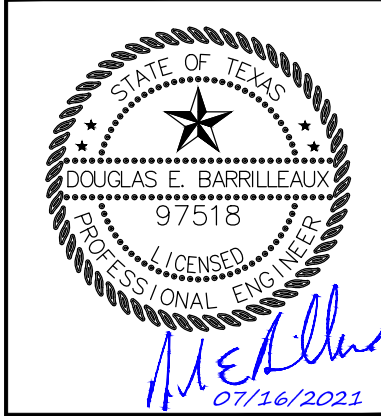
**GRADING LEGEND**

- PROPERTY LINE
- - - EX. CONTOUR
- 525 PR. CONTOUR
- FLOW PATH
- - - DRAINAGE DIVIDE
- - - SAWCUT PATH
- RETAINING WALL
- EX. WI EX. WYE INLET PER CS20-0026
- EX. CI EX. CURB INLET CS20-0026
- EX. JB EX. JUNCTION BOX PER CS20-0026
- CI PR. CURB INLET
- EX. FIRE HYDRANT PER CS20-0026 UNLESS OTHERWISE NOTED
- PR. FIRE HYDRANT
- EX. SANITARY SEWER MANHOLE PER CS20-0026
- EX. TD EX. TRENCH DRAIN PER CS20-0026
- 525.684 MATCH EXISTING GRADE
- 525.187 PROPOSED GRADE
- 525.687C TOP OF CURB
- 525.187G GUTTER
- 525.187W TOP OF WALL
- 525.188S BOTTOM OF STAIRS
- 525.187S TOP OF STAIRS
- 525.187H THROAT OF WYE INLET
- VHC VARIABLE HEIGHT CURB

NO.	DATE	REVISION

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FRISCO, COLLIN COUNTY, TEXAS  
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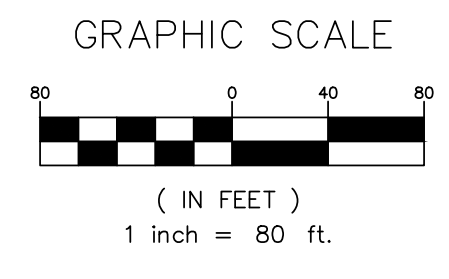
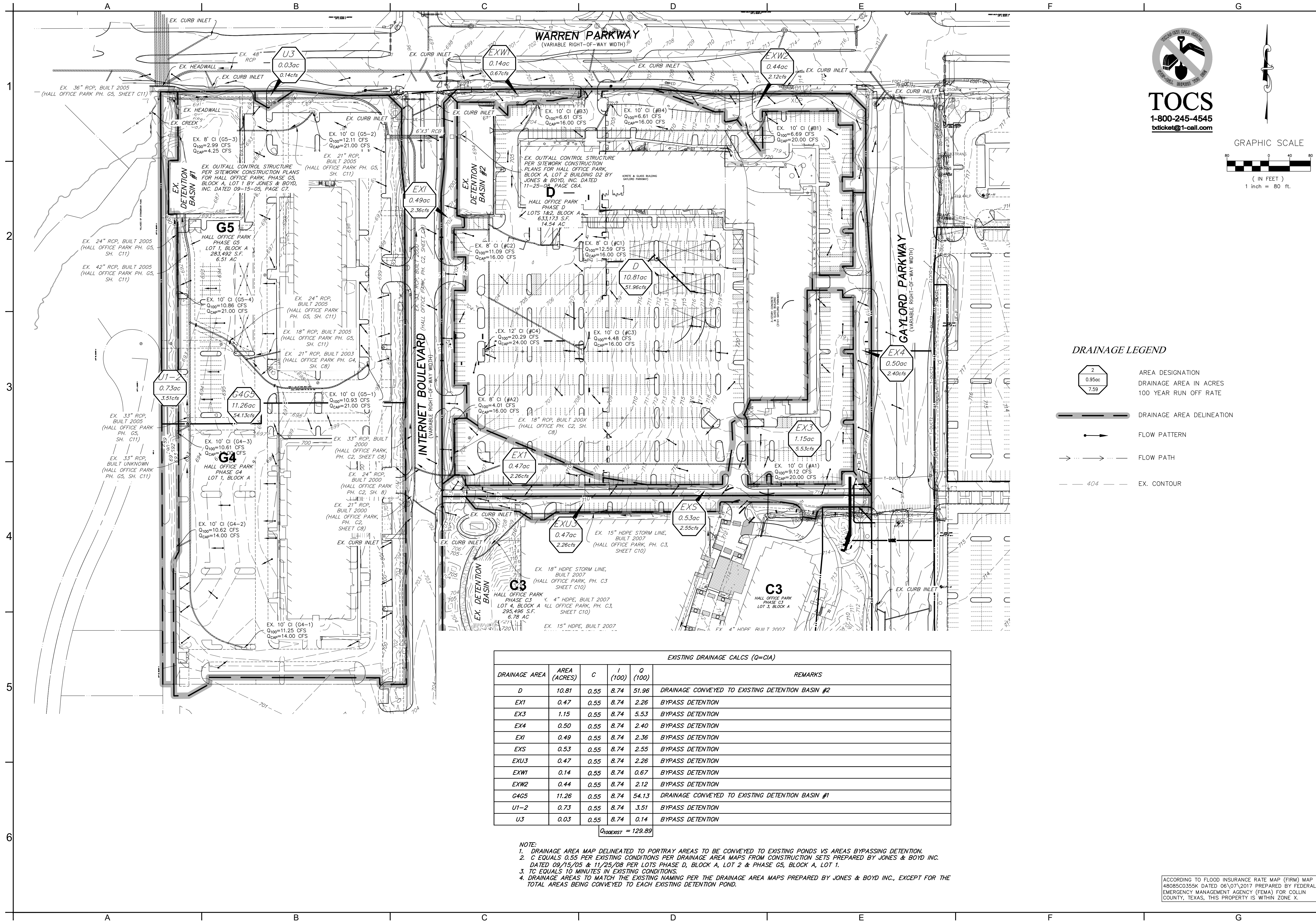
**GRADING PLAN 2**

CLIENT: HALL GROUP	PROJECT:
DRAWN BY: DTE	SHEET TITLE:
DESIGNER: BTD	
REVIEWER: DEB	
U.S. PROJECT: 18566	

SHEET  
**C06.2**

FILE NAME: D1 GRADING.DWG  
LAST MODIFIED ON: 07/20/23 5:59 PM  
LAST MODIFIED BY: DEB  
PLOT FILE: D1 GRADING.PLOT





**DRAINAGE LEGEND**

- AREA DESIGNATION  
DRAINAGE AREA IN ACRES  
100 YEAR RUN OFF RATE
- DRAINAGE AREA DELINEATION
- FLOW PATTERN
- FLOW PATH
- EX. CONTOUR

EXISTING DRAINAGE CALCS (Q=CIA)					REMARKS
DRAINAGE AREA	AREA (ACRES)	C	I (100)	Q (100)	
D	10.81	0.55	8.74	51.96	DRAINAGE CONVEYED TO EXISTING DETENTION BASIN #2
EX1	0.47	0.55	8.74	2.26	BYPASS DETENTION
EX3	1.15	0.55	8.74	5.53	BYPASS DETENTION
EX4	0.50	0.55	8.74	2.40	BYPASS DETENTION
EXI	0.49	0.55	8.74	2.36	BYPASS DETENTION
EXS	0.53	0.55	8.74	2.55	BYPASS DETENTION
EXU3	0.47	0.55	8.74	2.26	BYPASS DETENTION
EXW1	0.14	0.55	8.74	0.67	BYPASS DETENTION
EXW2	0.44	0.55	8.74	2.12	BYPASS DETENTION
G4G5	11.26	0.55	8.74	54.13	DRAINAGE CONVEYED TO EXISTING DETENTION BASIN #1
U1-2	0.73	0.55	8.74	3.51	BYPASS DETENTION
U3	0.03	0.55	8.74	0.14	BYPASS DETENTION
<b>Q<sub>100EXIST</sub> = 129.89</b>					

NOTE:  
 1. DRAINAGE AREA MAP DELINEATED TO PORTRAY AREAS TO BE CONVEYED TO EXISTING PONDS VS AREAS BYPASSING DETENTION.  
 2. C EQUALS 0.55 PER EXISTING CONDITIONS PER DRAINAGE AREA MAPS FROM CONSTRUCTION SETS PREPARED BY JONES & BOYD INC. DATED 09/15/05 & 11/25/08 PER LOTS PHASE D, BLOCK A, LOT 2 & PHASE G5, BLOCK A, LOT 1.  
 3. TC EQUALS 10 MINUTES IN EXISTING CONDITIONS.  
 4. DRAINAGE AREAS TO MATCH THE EXISTING NAMING PER THE DRAINAGE AREA MAPS PREPARED BY JONES & BOYD INC., EXCEPT FOR THE TOTAL AREAS BEING CONVEYED TO EACH EXISTING DETENTION POND.

PROJECT: CD PROGRESS PACKAGE  
 TEL: 214-295-8775  
 www.urbanstructure.com

REVISION  
 NO.  
 DATE

CLIENT: HALL GROUP  
 DRAWN BY: DTE  
 DESIGNER: BTB  
 REVIEWER: DEB  
 U.S. PROJECT: 18666

**HALL PARK D1**  
 3200 INTERNET BOULEVARD  
 FRISCO, COLLIN COUNTY, TEXAS  
 CD PROGRESS PACKAGE

**EXISTING DRAINAGE AREA MAP**

SHEET TITLE:

SHEET: **C07.0**

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48085C0355K DATED 06/07/2017 PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X.

FILE NAME: D:\EDALDING\2023\18666\Hall Park D1\ACAD\Working Files\CD1\_Construction Set\DWI\_EDM.dwg  
 LAST MODIFIED BY: DEB  
 LAST MODIFIED ON: 13/02/2023 8:38 PM  
 PLOTTED ON: 1/2/2024 1:03:16 PM